



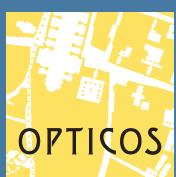
Architectural Design Book

Mallory & Evans
Development, LLC



The Shoals

Master PD Submittal
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Statement of Intent

The purpose of this Architectural Design Book is to provide architectural guidelines for the development, while allowing flexibility for architectural creativity and variation for each building type. The design standards in the Architectural Design Book were developed to provide a consistent palette of thoughtfully chosen building forms, materials, and design elements that will help to unify the four distinct neighborhoods. Application of the standards for buildings and site design will help to ensure that the final character of the development at full-build out will be aligned with the vision presented for consideration and approval.

Design standards required by A-CC Zoning Ordinance Sec 9-25-8-B (for single-family uses), 9-25-8 C. (for multi-family uses) & 9-25-8 E. (mixed or commercial uses) shall be waived and replaced with the design standards found in the Architectural Design Book. Items not addressed in this document shall default to A-CC Zoning Ordinances.





Project Vision and Site Plan



A unique sequence of neighborhoods designed to create a sense of place and promote walkability, community, and diverse housing choice.

The intended vision for The Shoals utilizes the unique topography and natural features of the site to create an array of distinct residential and mixed-use neighborhoods in a walkable and bikable context. More intense building types are located along Barnett Shoals Road, while building intensity decreases and the architectural character changes as you move through the development, resulting in four distinct, yet connected neighborhoods, each with its distinct center:

The Arts and Entertainment District on Barnett Shoals will serve as a gateway to The Shoals. At this intersection, a combination of open plazas and commercial, mixed-use buildings with neighborhood-serving retail provide for residents' daily needs and entertainment within walking distance of their homes. The existing multimodal greenway trail will connect the development to the greater community through the southernmost commercial zone.

The Central Neighborhood mixes a combination of single family and multi-family units with active community amenities, fostering social connection mixed with spontaneous and planned recreation. It features a central pedestrian walkway that connects the neighborhood to an amenity space for the residents. The greenway trail continues through the development with points of interest included along the way, such as connections to the wooded creek.

The Peninsula is a unique part of the plan that takes inspiration from small rural towns with a neighborhood center then transitioning to more open single family units overlooking the woods and creek that surround the neighborhood.

The Garden Neighborhood is the least dense and also features a neighborhood center. The perimeter is surrounded by series of pocket neighborhoods and "treehouse" units that front onto the natural landscape.

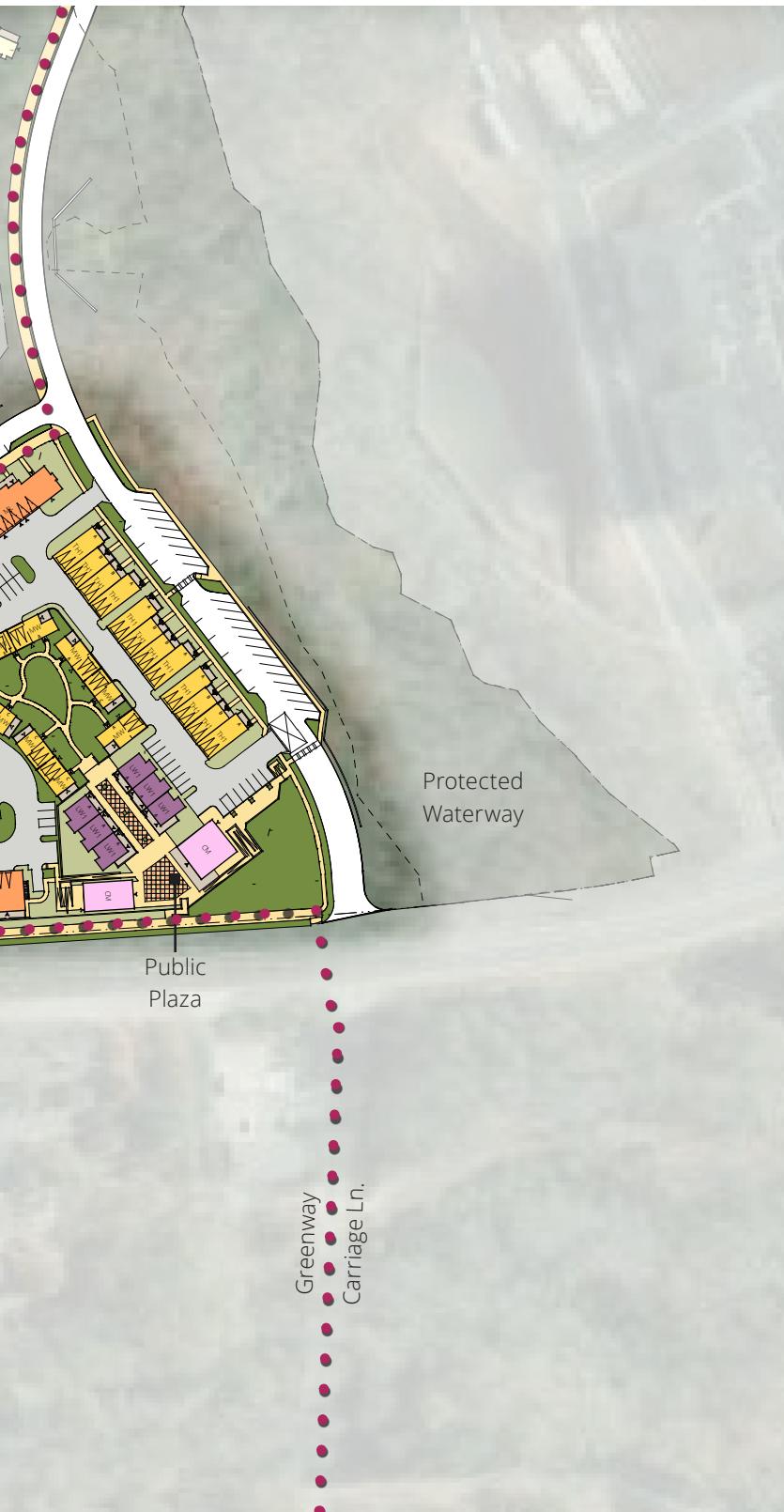
Illustrative Site Plan





Building Types Plan





Arts and Entertainment District	
Unit Range	240 - 325
Max. Building Height ¹	65'
Building Types	Building Type Key ²
■ Single Family Attached	
Mews	MW-A, MW-C, MW-E
Townhouse	TH1, TH2
■ Multi-Family	
Mansion Apartment	MS, ML
Multiplex	MP-A
Courtyard Apartment	CY
■ Live Work/Flex	LW1, LW2
■ Mixed Use	MU
■ Commercial	CM
Min. number of building types ³	5
Min. commercial area	15,000 gsf

¹ Height is measured from the average grade plane at the front facade to the midpoint of the roof or to the top of the average parapet.

² See Sample Elevations section

³ No individual type may be more than 55% of the neighborhood

Scale: 1"=200'



Building Types Plan





Central Neighborhood

Unit Range	155 - 215
Max Building Height ¹	45'
Building Types	Building Type Key ²
Single Family Detached	
Cottage	CT-A, CT-B
Treehouse	TR-A, TR-B
Single Family Attached	
Mews	MW-A, MW-C, MW-E
Duplex	DU
Triplex	TR
Multi-Family	
Carriage House	CH
Fourplex	FR
Fiveplex	FV
Mansion Apartment	MS, ML
Live Work/Flex	LW1-A, LW1-B
Garage	G
Min. number of building types ³	6

¹ Height is measured from the average grade plane at the front facade to the midpoint of the roof or to the top of the average parapet.

² See Sample Elevations section

³ No individual type may be more than 55% of the neighborhood

Scale: 1"=200'



0

200'

400'

Building Types Plan





The Peninsula

Unit Range	60 - 85
Max Building Height ¹	45'
Building Types	Building Type Key ²
Single Family Detached	
Mews	MW-A, MW-C, MW-E
Cottage	CT-A, CT-B
Treehouse	TR-A, TR-B
Single Family Attached	
Duplex	DU
Triplex	TR
Multi-Family	
Multiplex	MP-A
Live Work/Flex	LW1-A, LW1-B
Min. number of building types ³	4

¹ Height is measured from the average grade plane at the front facade to the midpoint of the roof or to the top of the average parapet.

² See Sample Elevations section

³ No individual type may be more than 55% of the neighborhood

Scale: 1"=200'



0

200'

400'

Building Types Plan





Garden Neighborhood

Unit Range	85 - 120
Max Building Height ¹	45'
Building Types	Building Type Key ²
■ Single Family Detached	
Single Family Home	SF-S, SF-M, SF-L
Cottage	CT-A, CT-B
Treehouse	TR-A, TR-B
■ Single Family Attached	
Townhouse	TH1
Duplex	DU
Triplex	TR
■ Multi-Family	
Multiplex	MP-A
■ Live Work/Flex	LW1-A, LW1-B
■ Garage	G
Min. number of building types ³	4

¹ Height is measured from the average grade plane at the front facade to the midpoint of the roof or to the top of the average parapet.

² See Sample Elevations section

³ No individual type may be more than 55% of the neighborhood

Scale: 1"=200'



0

200'

400'





Architectural Characters

A harmonious variety of expressions

The following guidelines represent architectural inspiration intended to provide a cohesive, yet architecturally varied, development. These guidelines allow for a range of expression in material and form and each one is intended to transition through characters to give distinct character to each neighborhood as one moves through the plan. Some neighborhoods may be more heavily influenced by category one over another; however, having variety in each neighborhood ensures an interesting and desirable streetscape.

Standards that aren't explicitly addressed here shall default to A-CC Zoning Policy.



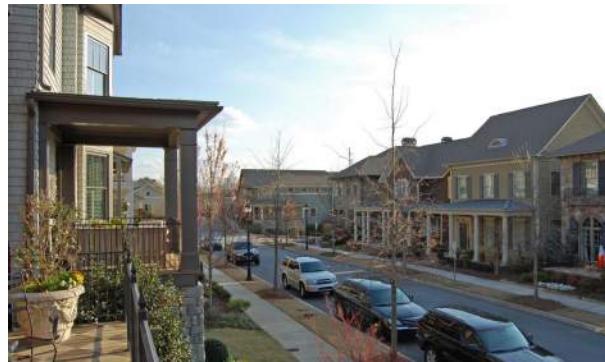
How to use this Design Book

1

Select Building Type

The Building Types Plans shows recommended locations for each of the types in the development.

- Building types may be interchanged within the plan, provided that the result does not exceed maximum number of total units, maximum number of units per neighborhood, or maximum height of the neighborhood.



2

Select Architectural Style

Based on pages 22-23, choose the Architectural Style for the building type. These styles are described by the following:

- **Typical Characteristics** refer to the architectural features that most often define buildings in a particular style. These are described as **Roof Forms, Openings, and Cladding**.
- **Design Elements** refer to a "kit-of-parts" set of features that enhance a building in that architectural style on a case-by-base basis depending on siting and desired effect. They are categorized by **Entryway Elements, Ornamental Elements, and Form Elements**.



3

Choose Design Elements

The table on page 24 outlines appropriate Design Elements for each architectural style.



4

Review other requirements

Opening and Material Requirements can be found on pages 26-29. Elevations shall meet these standards.



5

Review Sample Elevations

The final section of this book provides prototypical elevations for each type and how Characteristics and Design Elements may be applied.

Architectural Character by Neighborhood



Allowable Architectural Character by Neighborhood

Neighborhood	Main Street/ Warehouse	Southeastern Vernacular	Tudor	Southeastern Rustic	Contemporary
Arts and Entertainment District	●	○			○
Central Neighborhood	○		●	○	○
The Peninsula	○		○	●	○
Garden Neighborhood		●	○	○	○

● = Primary (40%-70%) ○ = Supplemental (10% min.)

Distinct, yet cohesive neighborhood characters

Each neighborhood will have a unique, yet related, character through use of building type, siting, and architectural expression. These neighborhood styles are described in the table above.

Application:

Each neighborhood must have

- A minimum of three style with
- A Primary Style, of which a percentage of buildings must fall into AND
- Supplemental Styles, which provide variation in the neighborhood.

Architectural Character by Building Type

Building Type	Main Street/ Warehouse	Southeastern Vernacular	Tudor	Southeastern Rustic	Contemporary
Mixed Use	●	○			○
Live Work/Flex	●	●	○		○
Courtyard Apartment	○	●	○	○	○
Multiplex		●		○	○
Mansion Apartment		●	●	○	○
Fiveplex		○	●	●	○
Fourplex		●	○	●	○
Triplex		○	○	●	●
Duplex		○	○	●	●
Mews	●	●	○	●	○
Carriage House	○	●	●	○	○
Treehouse		○	○	●	●
Townhouse	○	●	○	○	●
Cottage		●	○	●	●
Single Family Home		●	●	●	●

● = Example in this Character Book ○ = Allowable Variation

Variation through architectural expression

To create a varied streetscape and a range of housing options many building types are used in more than one neighborhood. Depending on the surrounding context and neighborhood, more than one Architectural Style(s) may be applicable to any one building type.

Application:

These allowable character variations options for each building type are noted in the table above.

- Styles with a solid dot have examples in this Design Book.
- "Variations" are other styles that may be used for that building type but are not specifically illustrated in this Design Book.

Allowable Design Elements by Character

Elements	Main Street/ Warehouse	Southeastern Vernacular	Tudor	Southeastern Rustic	Contemporary
Entryway Elements	Required for every entrance in all styles. See definition on opposite page.●				
Form Elements					
Dormers		●	●	●	●
Bay window (min. 24")		●	●	●	●
Brick gable with parapet	●	●	●		
Chimney	●	●	●	●	●
Inset balcony (min. 4' inset)	●	●		●	●
Cupola	●	●	●		
Roof monitor/clerestory	●				●
Projection or step in plane (min. 24")	●				●
Tower or turret	●	●	●		
Corner window					●
Occupiable balcony (min. 4' projection)	●	●	●	●	●
Occupiable porch (min. 7' depth)		●		●	●
Ornamental Elements					
Decorative brickwork	●	●	●		●
Decorative cornice	●	●	●		
Decorative mouldings	●	●	●		
"Half-timbering"			●	●	
Divided window lites (2-sided, exterior-mounted)	●	●	●	●	●
Shutters (each must be 1/2 width of corresponding opening)		●		●	●
Pilasters	●	●			
Brackets	●	●	●	●	●
Exposed rafter tails	●	●	●	●	●
Juliette balcony (min. 8" projection)	●	●			
Projecting window surround	●				●
Window shade element	●	●	●		●
Arched, jack arch, cast stone lintel	●	●	●	●	●
Change in material					●
Decorative columns	●	●	●	●	●
Stepped parapet	●				

Design Elements

A kit-of-parts approach

Within each Architectural Character, Design Elements must be selected and utilized. The selection may be based on siting, desired affect, lot size, or any other reason to enhance the facade of the building.

Entryway Elements provide cover above a unit's entrance. They may also be used to provide covered outdoor space for the unit and/or entire building. An Entryway Element must be:

- At least 24" deep, 1.5x the width of its associated opening, and within 3' of the top of the rough opening.
- Examples of Entryway Elements are covered porches (at least 7' deep), attached overdoors, awnings, recessed entries, galleries, balconies. This list is not exhaustive of all possibilities.



Form Elements alter the exterior form of the building and may be used strategically to enhance a building.

Ornamental Elements provide visual interest and expression in their respective architectural characteristics.

Application:

At a minimum, each building's primary public-facing facade must include:

- One Entryway Element at each front entrance

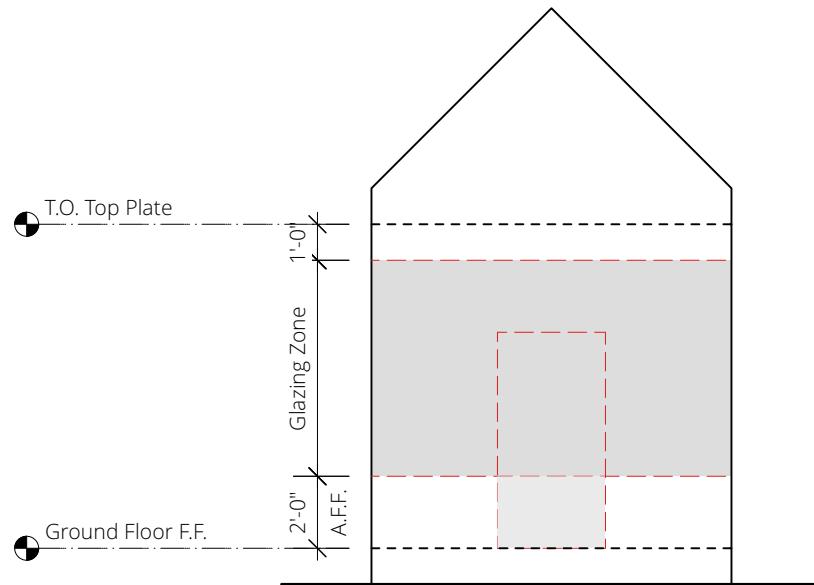
AND one of the following options:

- One Form Element and one Ornamental Elements OR
- Two Ornamental Elements

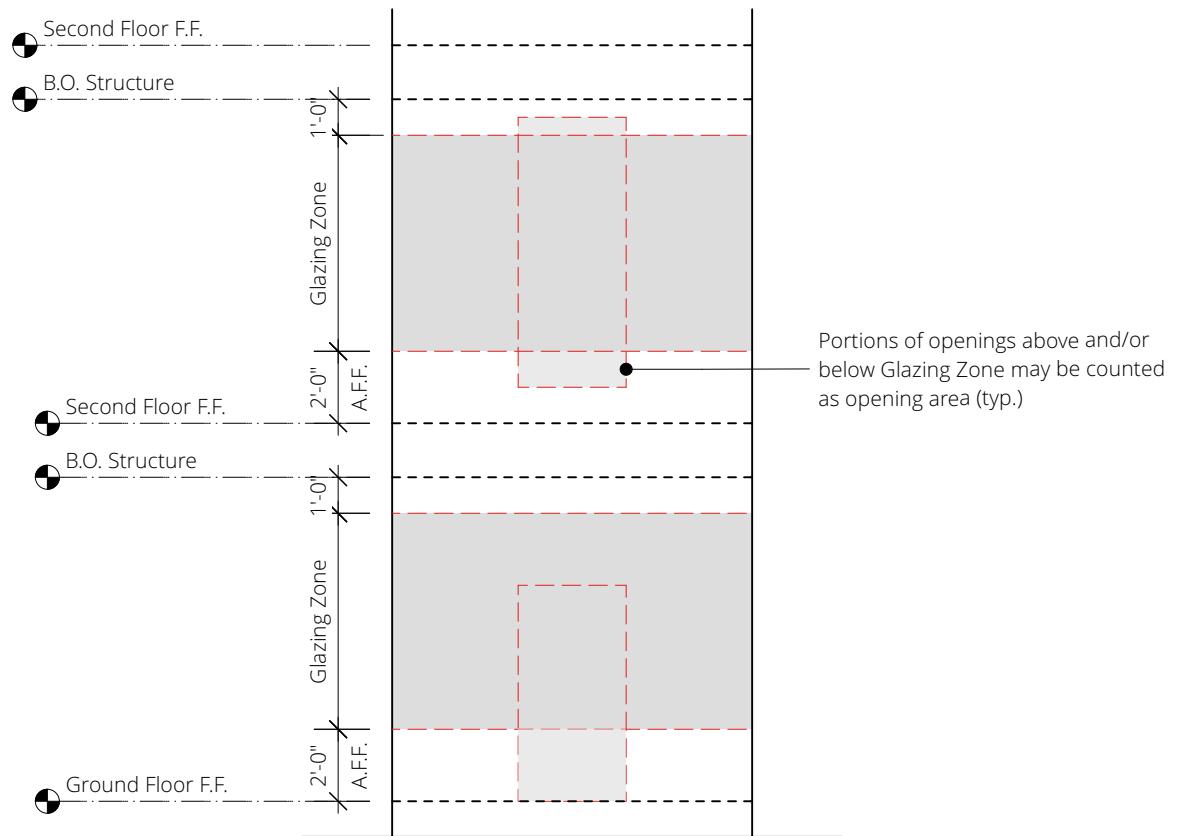


An Entryway Element may also be counted as one required Form Element if it extends beyond above the entry or used elsewhere on the building other than above an entrance.





Glazing calculation for flat, vaulted, or lofted ceilings



Typical glazing calculation

Doors and Windows

Connection and permeability

Windows and doors are essential elements when creating an active street front and neighborhood. These standards seek to create porosity in building facades so that there is adequate connection between the interior and the exterior of the building. If a secondary entrance is desired, it must comply with the Entryway Element regulations above.

Application

Every building's primary public-facing facade that faces a street or public greenway must follow the following standards:

- Every building that faces a public street, path, or green must have at least one entryway facing that public right of way. Garages and Carriage Houses are exempt from this requirement.
- The glazing zone is defined as shown in the figure on the left. It consists of a band at 2'-0" above the finished floor and extends to 1'-0" below the bottom of the structure above.
- On front facades, 25% of the total area of all glazing zones on a facade must be window or door. On side street-facing facades, the required opening area is 20% of all glazing zones.
- Doors and windows that extend above or below this area, and may count toward the required coverage.
- Garage doors may not open directly onto a street other than a driveway or an alley and therefore may not count toward opening requirements.
- Windows shall not be flush with adjacent wall treatment and/or trim. Minimum 2" inset.
- For brick cladding: Windows shall be provided with a horizontal lintel, a sill, and a brickmould. A brick soldier course is the minimum lintel. Other lintel treatments may be considered an Ornamental Element - see table on page 24.
- For all other cladding: Windows shall be provided with trim on all sides.





Materials

Allowable Materials	
Element	Material
Roof and Roof Elements	
Roofing	Composite shingles, standing seam metal, TPO
Rake and Eave	Fiber cement, composite wood, metal, wood ¹
Windows and Doors	
Entry Doors	Metal, fiberglass, composite wood, wood ¹
Windows	Aluminum, fiberglass, vinyl
Attached Elements	
Columns	Composite wood, wood ¹ , fiberglass, metal
Railing	Composite wood, wood ¹ , metal
Brackets	Composite wood, wood ¹ , fiberglass, metal
Awnings	Metal, fabric, wood ¹ , composite wood, fiberglass
Storefronts	
Storefront frame	Composite wood, metal
Storefront detailing	Wood ¹ , composite wood, metal, fiberglass
Storefront Base	Brick ² , composite wood, metal
Trim	
Corner, window	Fiber cement, composite wood, metal, wood ¹
Base	
Water table	Granite, cast stone, brick ² , concrete, fiber cement, wood, composite wood, stucco
Cladding	
Wall	Brick ² , stucco, fiber cement (panel, shingle, horizontal siding), board and batten, metal panel ³ , corrugated or ribbed metal ³ , stucco, cast stone

¹ Painted or stained² Painted or natural³ Must be differentiated from metal roofing. Gauge value of 24 or less and no exposed fasteners upon completion

A consistent palette of base materials

To achieve a level of cohesion through the site, there are material suggestions that might vary in color, character and form, but will remain consistent in material.

Application

- These elements and options for their materials are detailed in the table on the left.





Main Street/ Warehouse



Description

Main Street/ Warehouse buildings are inspired by industrial buildings that are composed of simple rectilinear forms, articulated with a regular, pattern of bays.

Typical Characteristics

Roof Form Flat with parapet, gabled

Openings Windows must be vertically proportioned (1:1 or greater). If ganged, mullions of 4" or greater may count as separation.

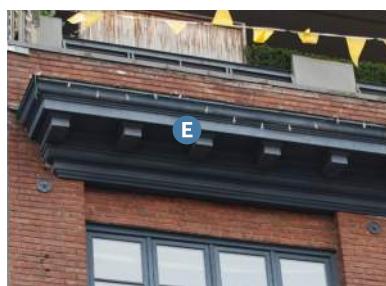
Cladding Brick, corrugated or ribbed metal, metal panel, cast stone, fiber cement, board and batten



Balconies, brick pilasters



Awnings



Ornamental cornice



Brick pilasters, brick detailing, awning

Example Design Elements

- A** Balcony
- B** Ornamental brickwork
- C** Awnings
- D** Brick pilasters
- E** Decorative mouldings
- F** Divided window lites



Light fixtures, awnings, brick detailing



Glenwood Pk Dr SE

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Southeastern Vernacular



Description

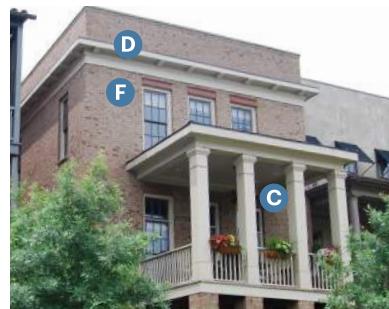
Southeastern Vernacular buildings are inspired by architecture in the American Southeast. Buildings may have more historical or more contemporary detailing.

Typical Characteristics

Roof Form Front gable, side gable, hipped, flat with parapet

Openings Windows must be vertically proportioned (1:1 or greater). If ganged, mullions of 4" or greater may count as separation.

Cladding Brick, fiber cement siding, fiber cement shingle, board and batten



Decorative mouldings



Porches



Balconies, chimneys, divided lites



Shutters, divided lites



Brick side gable, balconies

Example Design Elements

A Shutters

B Balconies

C Porches

D Mouldings, brackets, decorative brickwork

E Chimneys and gable with parapet

F Divided window lites



13013
Reserve 13

Tudor



Description

Tudor buildings are inspired by the Storybook and Tudor Revival styles that emerged in America in the late 19th century. Buildings may have more historical details or more contemporary detailing.

Typical Characteristics

Roof Form Side gable, front gable. Steep pitch. Minimal eave.



Bay window



"Half-timber" details, divided lites

Openings Windows must be vertically proportioned (1:1.5 or greater). If ganged, mullions of 4" or greater may count as separation.



Bay window, divided lites

Cladding Painted/ natural brick, fiber cement panel/ siding, stucco, board and batten



Chimney

Example Design Elements

- A** "Half-timbering" details
- B** Attached over-doors
- C** Dormers
- D** Bay windows
- E** Chimneys
- F** Divided window lites



Dormers, "half-timber" details



Southeastern Rustic



Description

Southeastern Rustic buildings derive their character from the constructional logic of carpentry in which buildings are formed by the repetition of structural elements. Buildings may have more historical details or more contemporary detailing.

Typical Characteristics

Roof Form Low-pitched. Deep overhangs and rakes



Decorative bracket, divided lites

Openings Windows must be vertically proportioned (1:1 or greater). If ganged, mullions of 4" or greater may count as separation.



Inset porch, dormer, exposed rafters

Cladding Fiber cement siding/ shingles, painted/ natural brick, concrete, board and batten



Dormers, chimney, brackets, lites

Example Design Elements

A Covered porch



Projecting porch, decorative rafters

B Decorative rafters



Decorative rafter tails

C Dormers

D Decorative brackets

E Chimney

F Divided window lites



Contemporary



Description

Contemporary buildings have a streamlined aesthetic and minimal ornamentation. This style focuses on combining simple rectilinear massing forms with changes in material and color. The use of glass and simple materials imbues buildings with a sense of lightness and simplicity.

Typical Characteristics

Roof Form Sloped with minimal eaves

Openings Windows may be vertically or horizontally proportioned

Cladding Brick, corrugated or ribbed metal, panelized metal, fiber cement panel, fiber cement siding, concrete, stucco, board and batten



Overdoor



Inset entrance, divided lites



Porch, divided lites



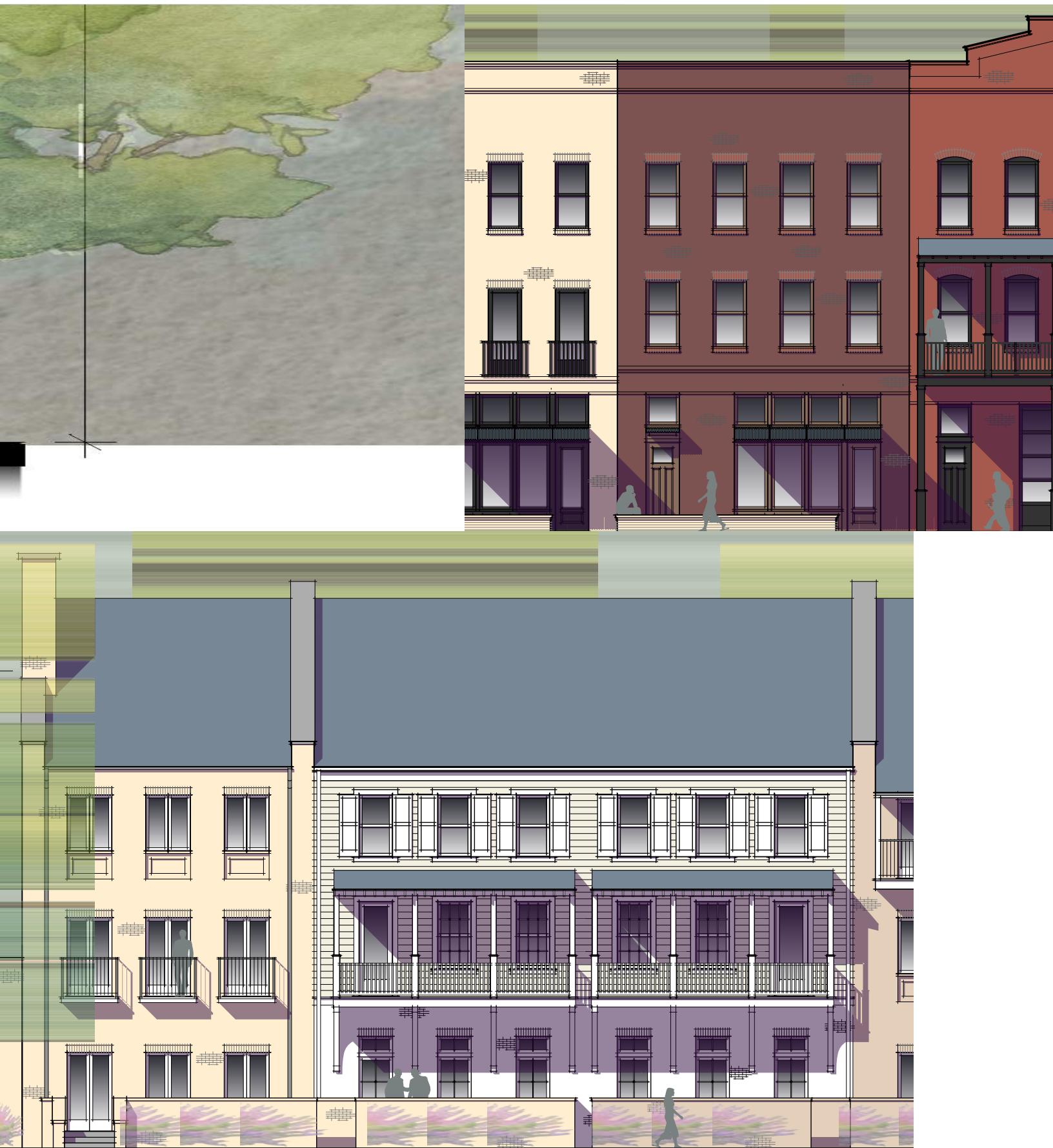
Dormer, projecting mass/porch



Balconies, porches, dormers

Example Design Elements

- A** Dormers
- B** Inset or projecting balconies
- C** Overdoors
- D** Inset entrance
- E** Porches
- F** Divided window lites





Sample Building Type Elevations

A wide range of housing options

This section features prototypical elevations for the variety of building types utilized in The Shoals. Having a range of building types offers an array of unit types, sizes, and configurations to meet a diversity of housing needs in the community.

The prototypical elevations shown demonstrate how the above guidelines are implemented on the various proposed building types. They illustrate how the Typical Characteristics in each architectural style and demonstrate how Design Elements might be applied. Finalized elevations will be determined by factors such as site, neighborhood, and context. Depicted colors are initial suggestions to create a cohesive composition across architectural expressions and may vary in the finalized design to ensure a varied streetscape.

These prototypical elevations convey a general design intent and will vary both between different architectural styles and within the same architectural style through material selection, color, and use of Design Elements.



Mixed-Use

(MU) - Main Street/ Warehouse



Type Description

This building type has commercial frontage on the ground floor and stacked apartments above. There may be connections between buildings on upper floors.

Typical Unit Range 8 du - 20 du



Mixed-Use

(MU) - Main Street/ Warehouse



Type Description

This building type has commercial frontage on the ground floor and stacked apartments above. There may be connections between buildings on upper floors.

Unit Range

8 du - 15 du



Live/Work Flexhouse

(LW1-A, LW1-B, LW2) - Main Street/Warehouse



Type Description

This building type includes one dwelling unit above a flexible ground floor space that can be used for residential, live/work, or retail - like a neighborhood coffee shop, day care, or small professional office. This type may be two or three stories, depending on the context.

Unit Range (per bay) 1 du - 2 du

Composition 2 - 5 bays



Live/Work Flexhouse

(LW1-A, LW1-B, LW2) - Southeastern Vernacular



Type Description

This building type includes one dwelling unit above a flexible ground floor space that can be used for residential, live/work, or retail - like a neighborhood coffee shop, day care, or small professional office. This type may be two or three stories, depending on the context.

Unit Range (per bay) 1 du - 2 du

Composition 2 - 5 bays



Courtyard Apartment

(CY) - Southeastern Vernacular



Type Description

This building type consists of a series of stacked apartments that are organized around small courtyards. At the rear of the building, there is tuck-under parking.

Typical Unit Range

15 du - 30 du



Secondary street elevation



Courtyard Apartment

(CY) - Southeastern Vernacular



Type Description

This building type consists of a series of stacked apartments that are organized around small courtyards. At the rear of the building, there is tuck-under parking.

Typical Unit Range 10 du - 30 du



Multiplex

(MP-A, MP-B) - Southeastern Vernacular

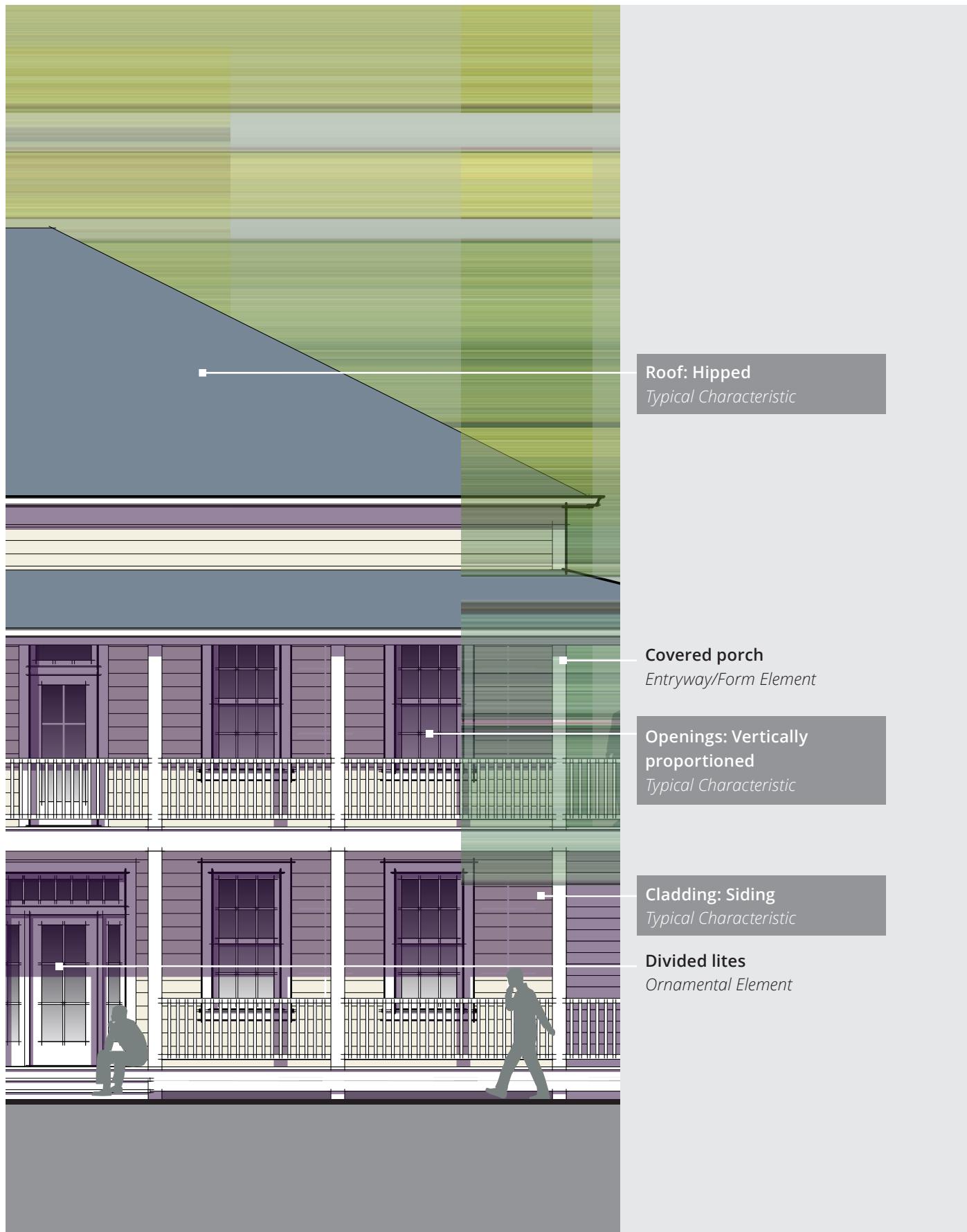


Type Description

This building type consists of a series of stacked apartment units with the front half of the ground floor dedicated to units and the rear half has the option for tuck under parking. This type may be two or three stories, depending on the context.

Unit Range

6 du - 12 du



Multiplex

(MP-A, MP-B) - Southeastern Vernacular



Type Description

This building type consists of a series of stacked apartment units with the front half of the ground floor dedicated to units and the rear half has the option for tuck under parking. This type may be two or three stories, depending on the context.

Unit Range

6 du - 12 du



Mansion Apartment

(ML) - Tudor

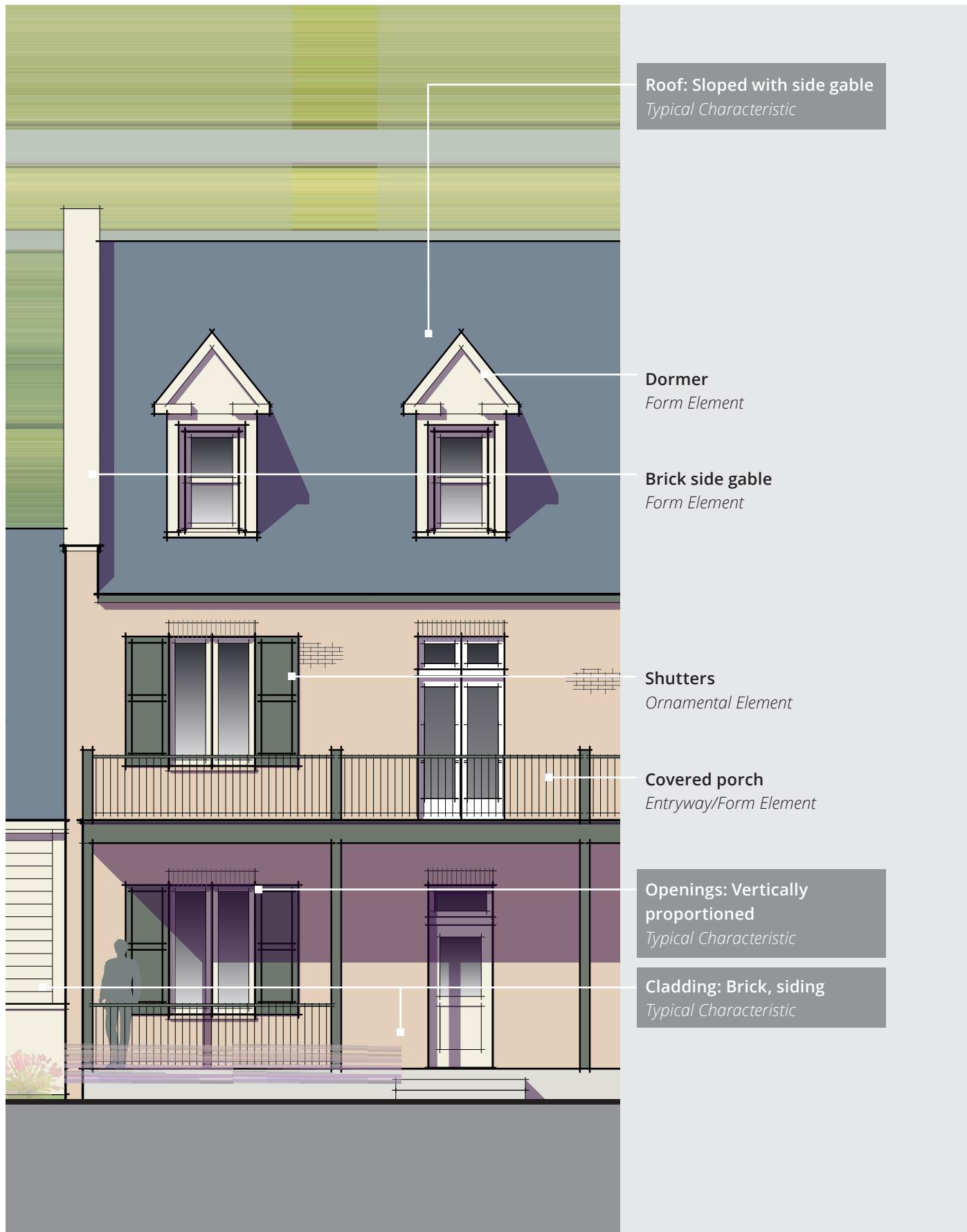


Type Description

This building type appears from the street like a large mansion while it offers multiple residential units under one structure.

Unit Range

6 du - 10 du



Mansion Apartment

(ML) - Southeastern Vernacular

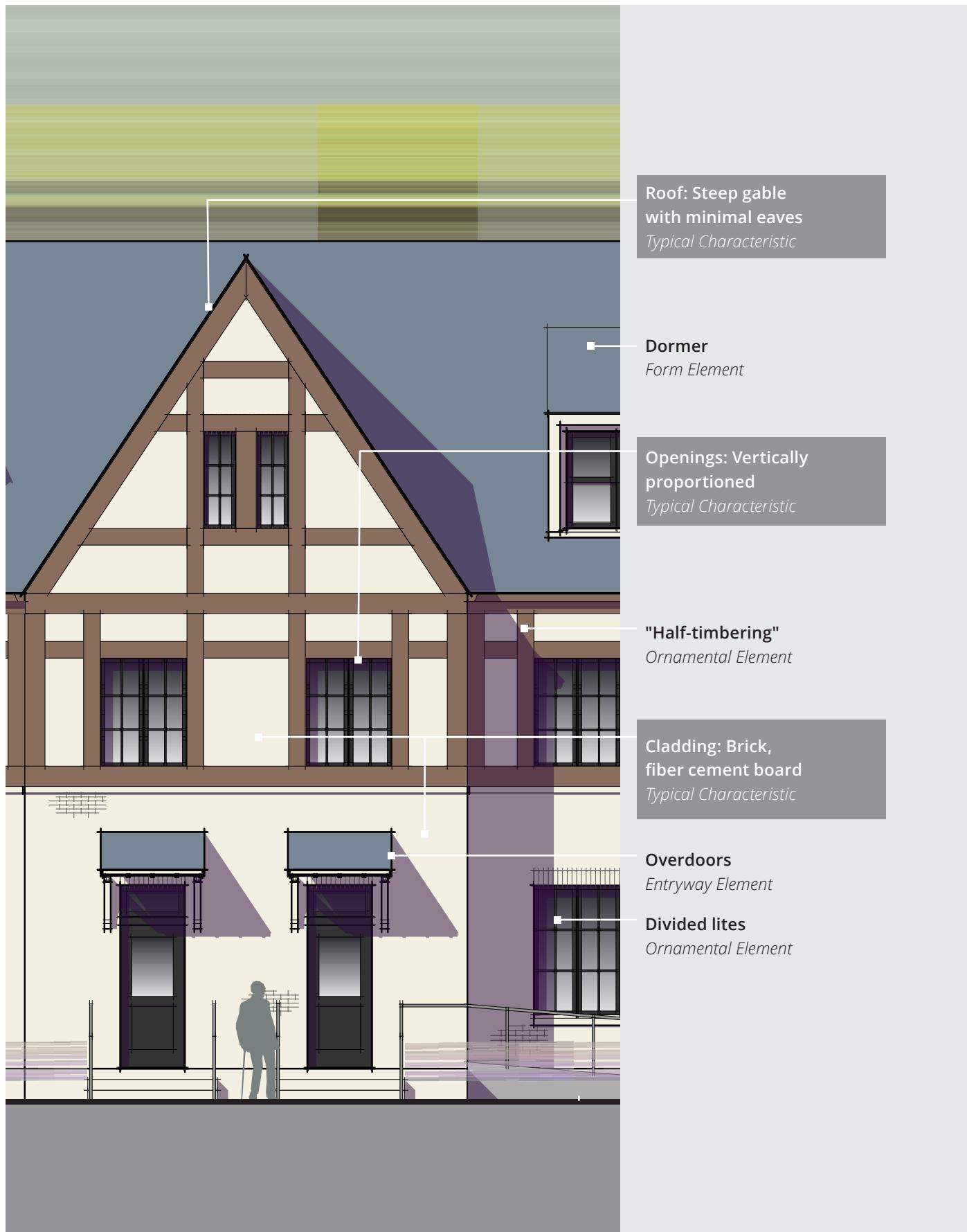


Type Description

This building type appears from the street like a large mansion while it offers multiple residential units under one structure.

Unit Range

6 du - 10 du



Mansion Apartment

(MS) - Tudor

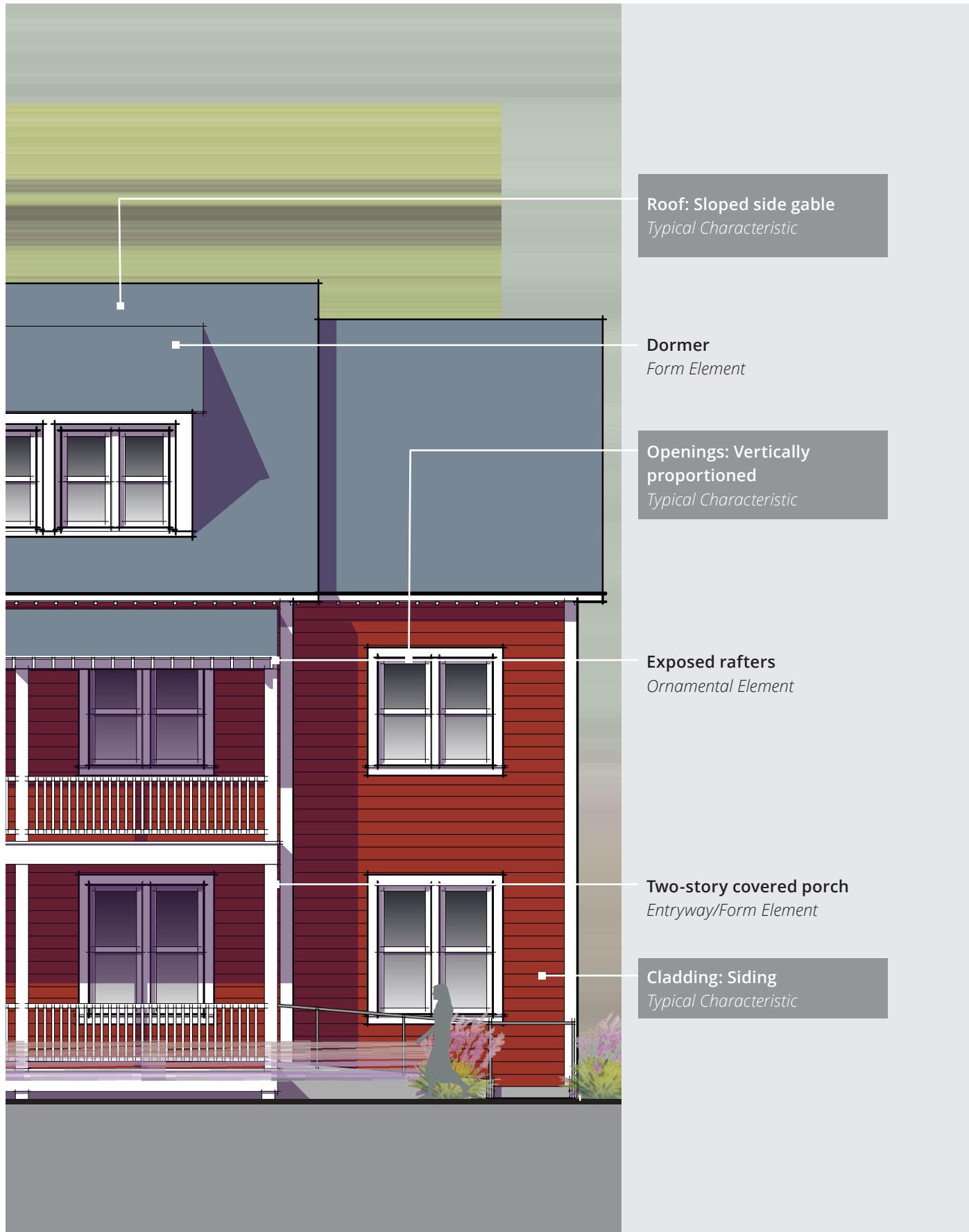


Type Description

This building type appears from the street like a large mansion while it offers multiple residential units under one structure.

Unit Range

6 du - 10 du



Mansion Apartment

(MS) - Southeastern Vernacular



Type Description

This building type appears from the street like a large mansion while it offers multiple residential units under one structure.

Unit Range

6 du - 10 du



Fiveplex

(FV) - Tudor

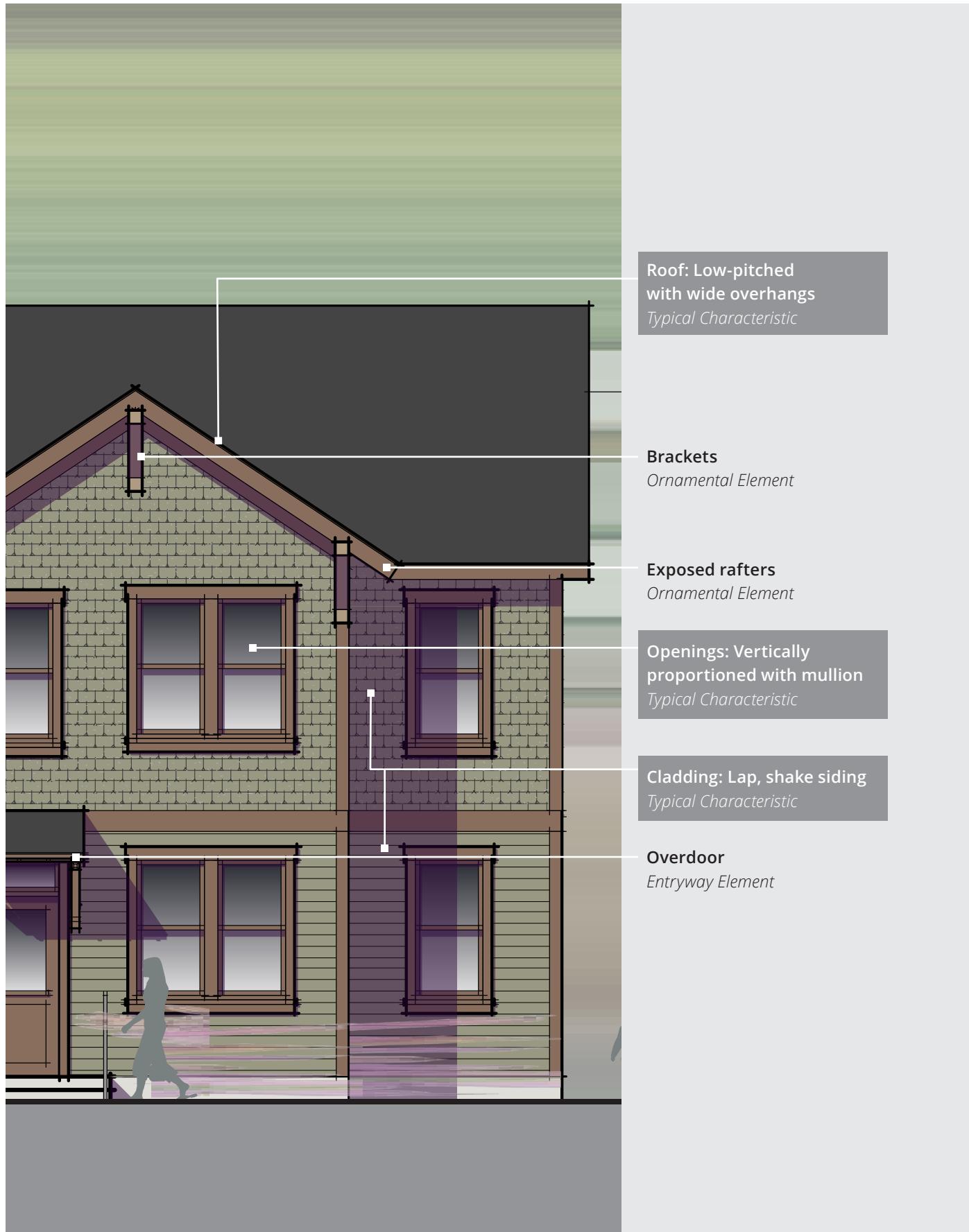


Type Description

This building type includes five stacked units with a shared entry.

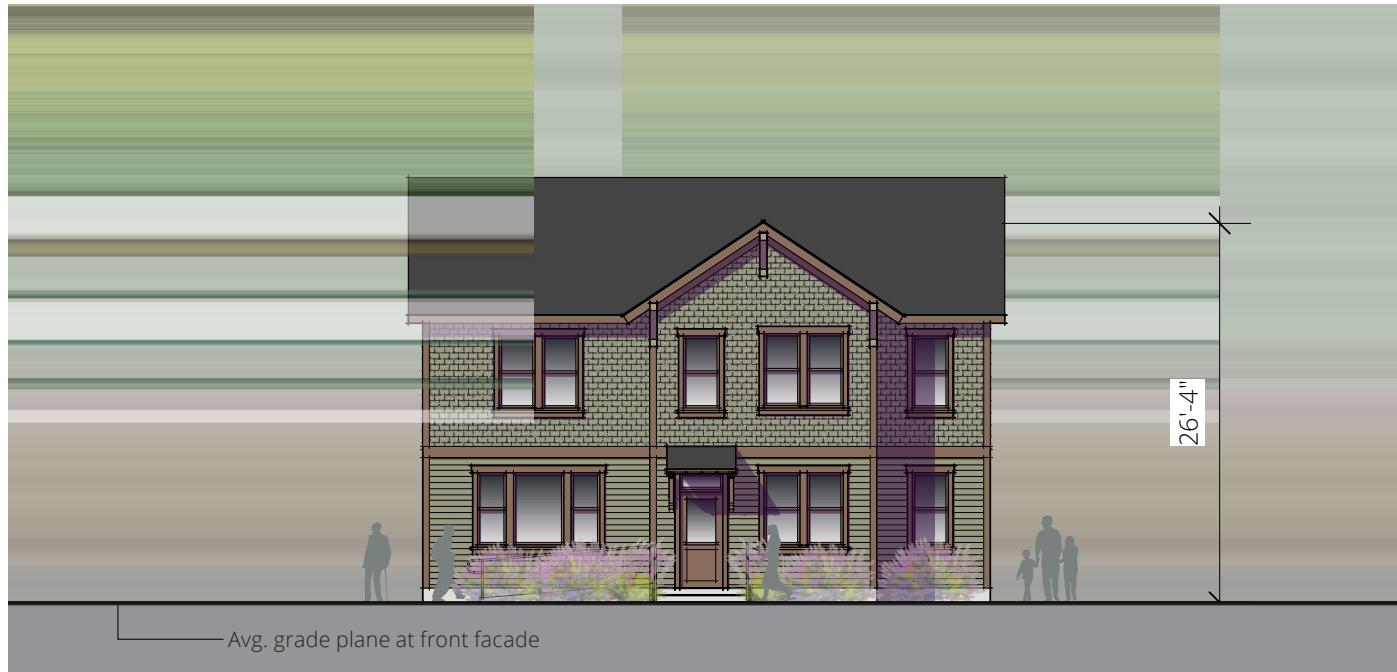
Unit Range

5 du



Fiveplex

(FV) - Southeastern Rustic

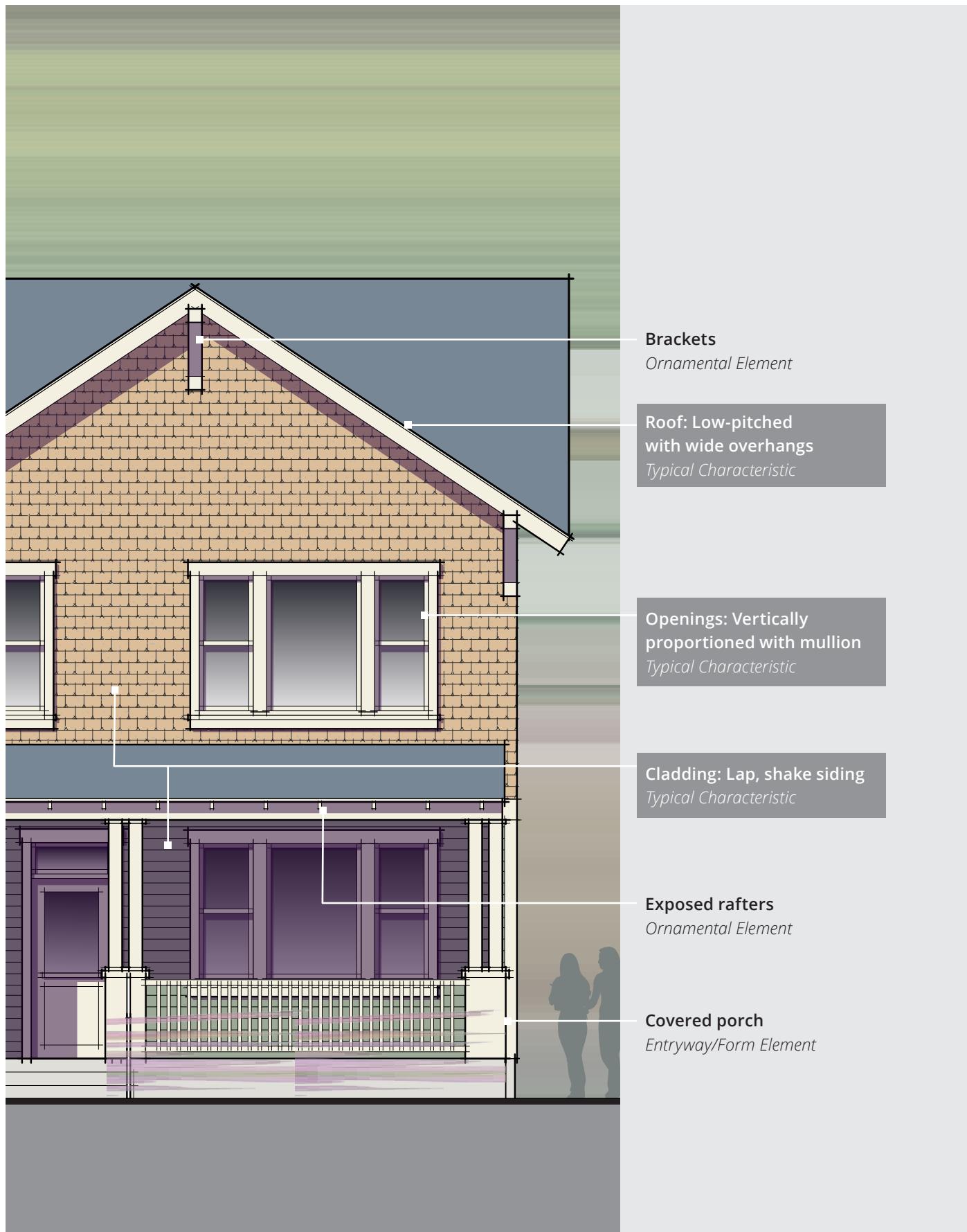


Type Description

This building type includes five stacked units with a shared entry.

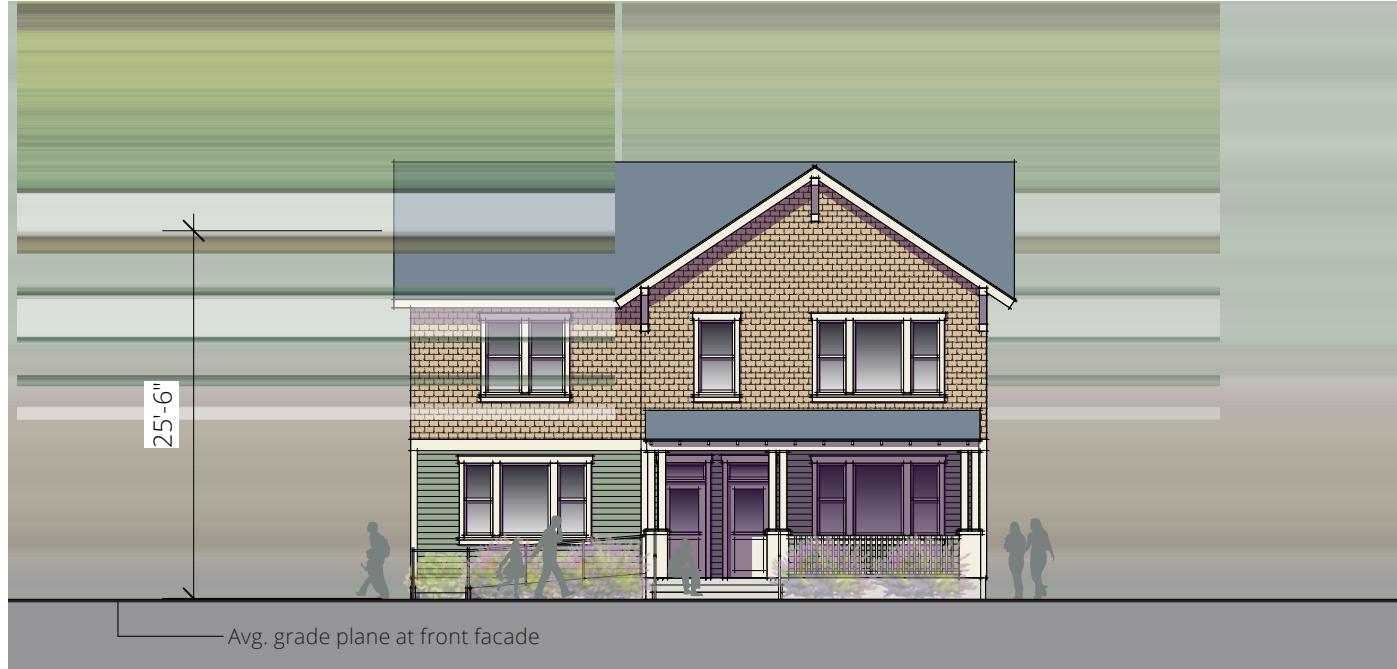
Unit Range

5 du



Fourplex

(FR) - Southeastern Rustic

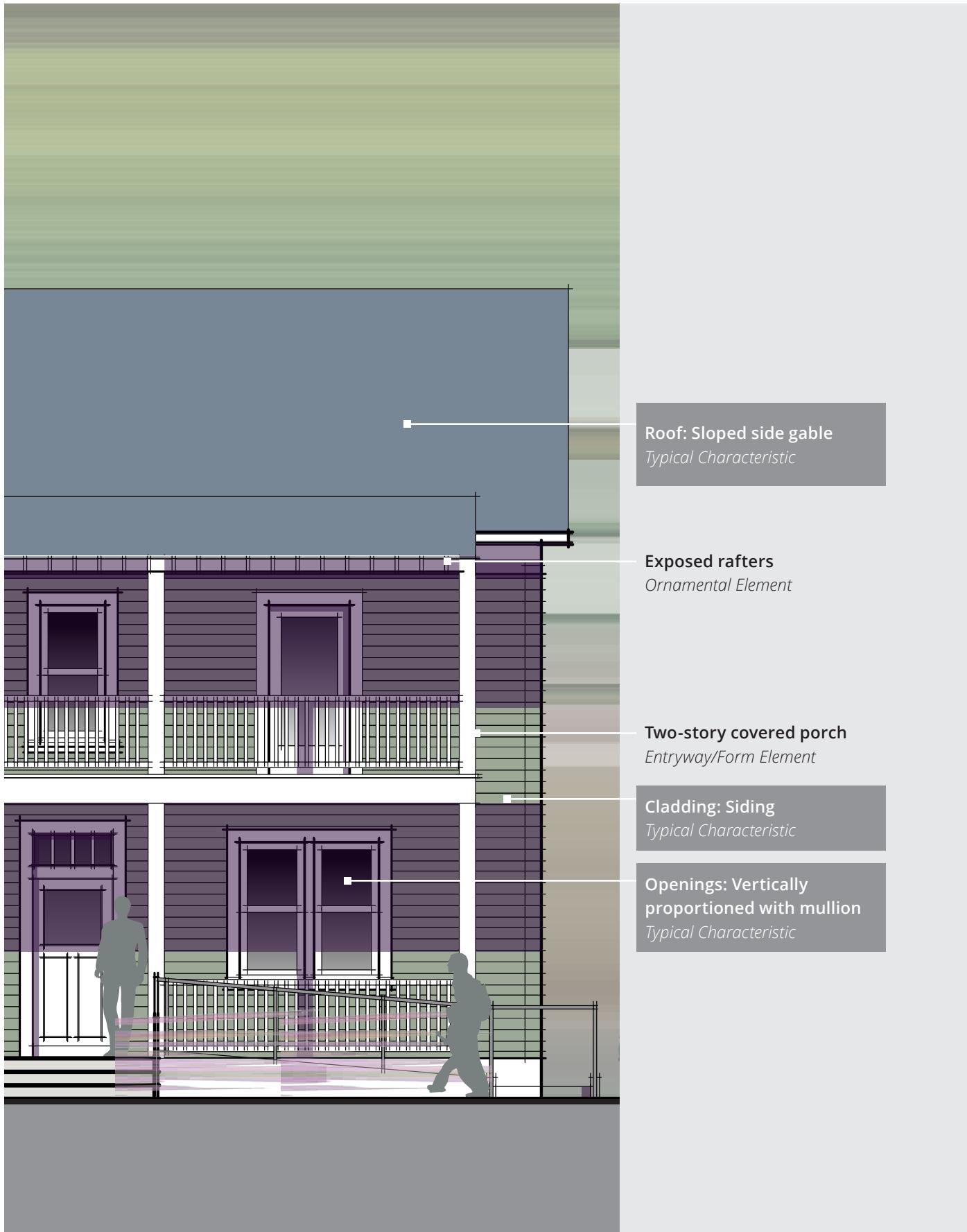


Type Description

This building type includes four stacked units with a shared entry.

Unit Range

4 du



Fourplex

(FR) - Southeastern Vernacular

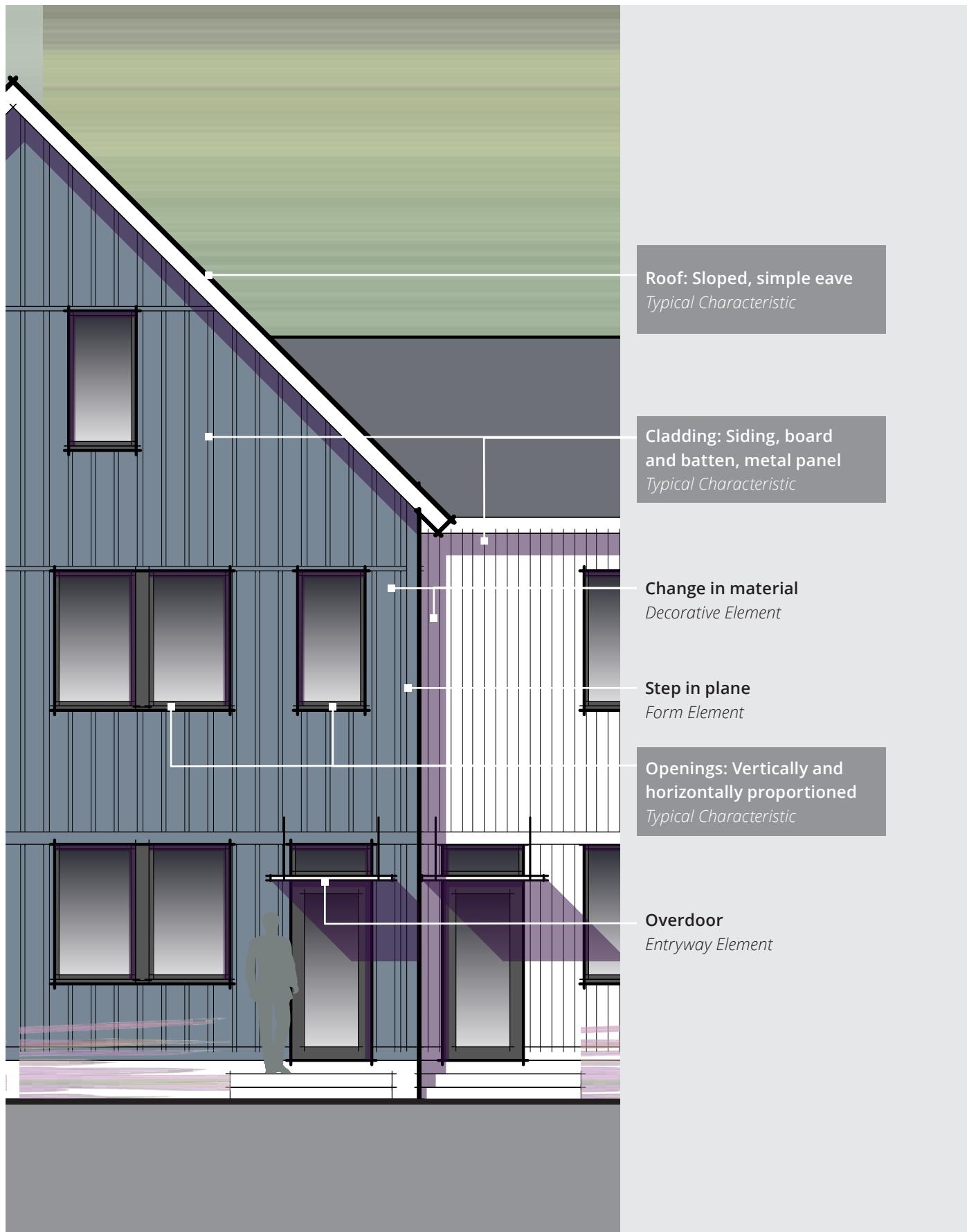


Type Description

This building type includes four stacked units with a shared entry.

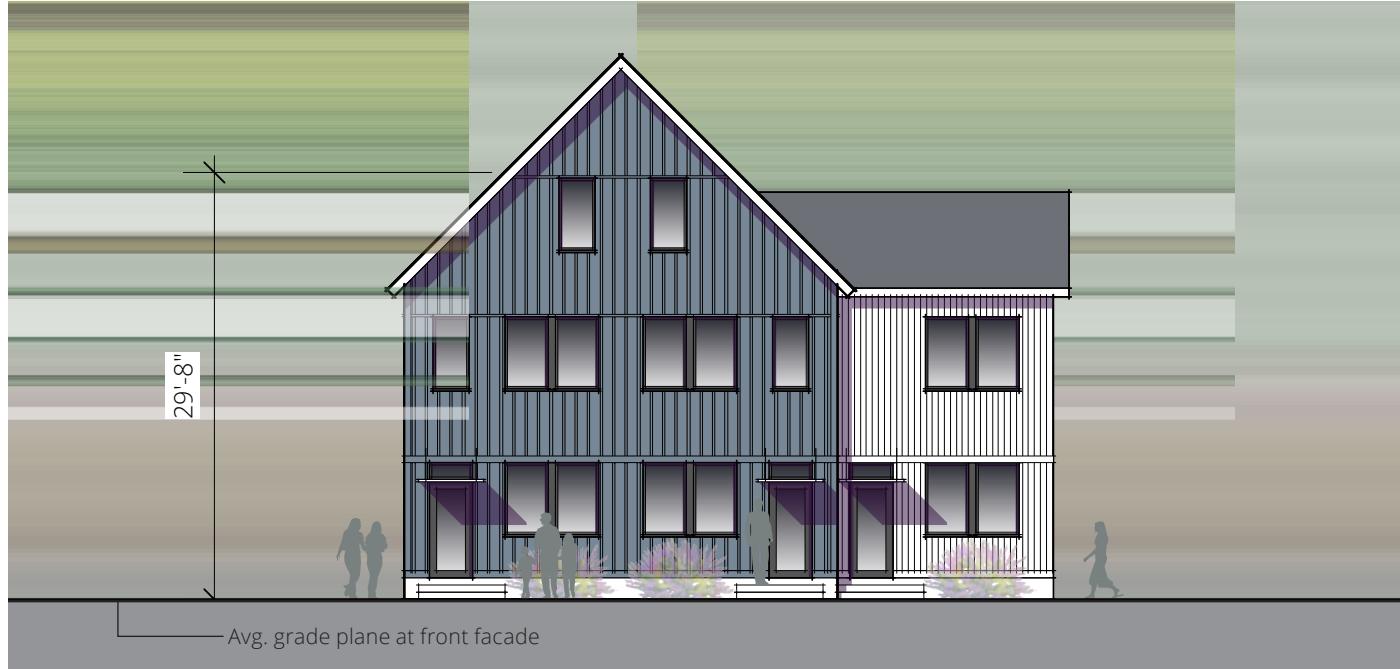
Unit Range

4 du



Triplex

(TR) - Contemporary

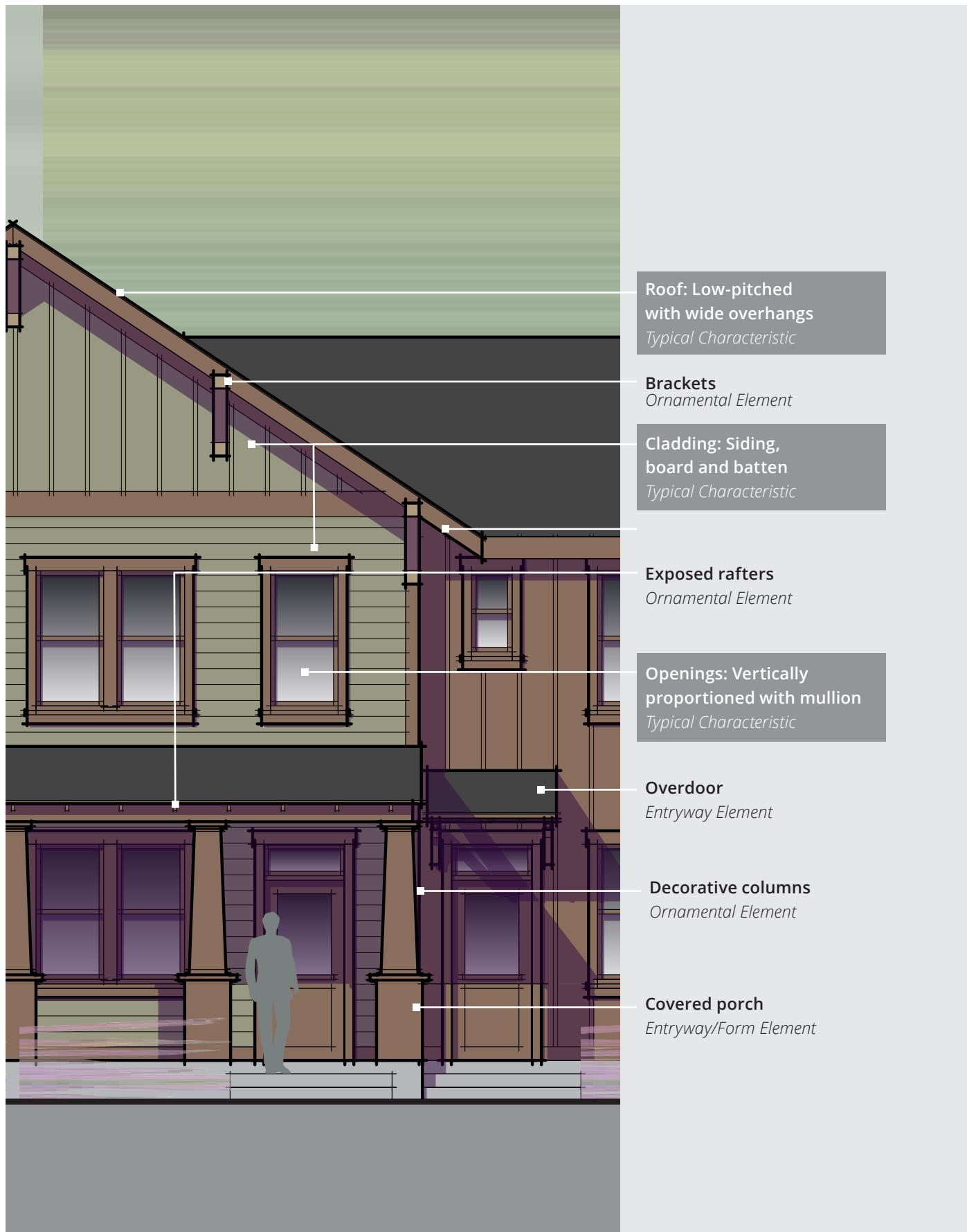


Type Description

This building type includes three units that may be situated side-by-side or stacked (shown side-by-side).

Unit Range

3 du



Triplex

(TR) - Southeastern Rustic

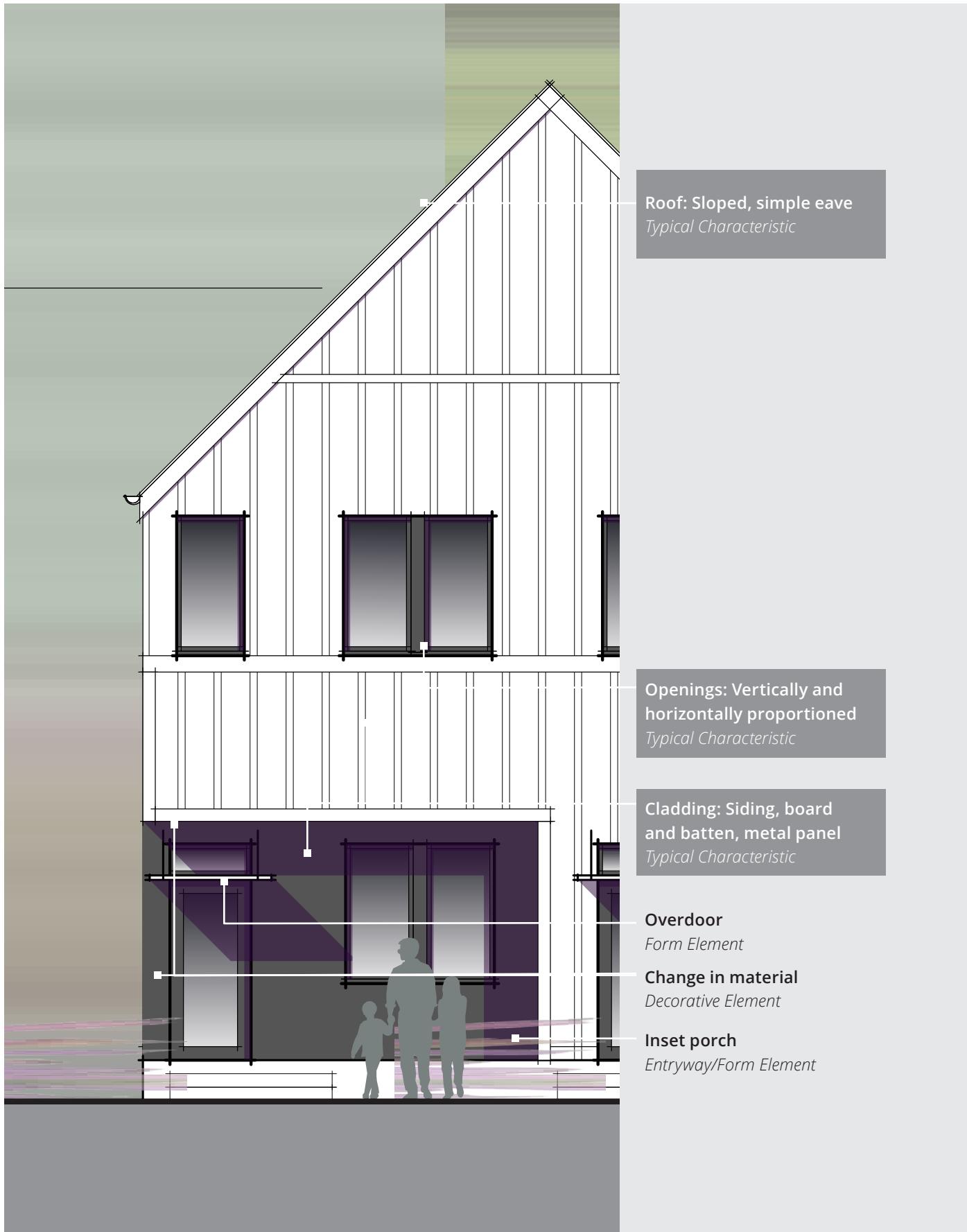


Type Description

This building type includes three units that may be situated side-by-side or stacked (shown side-by-side).

Unit Range

3 du



Duplex

(DU) - Contemporary

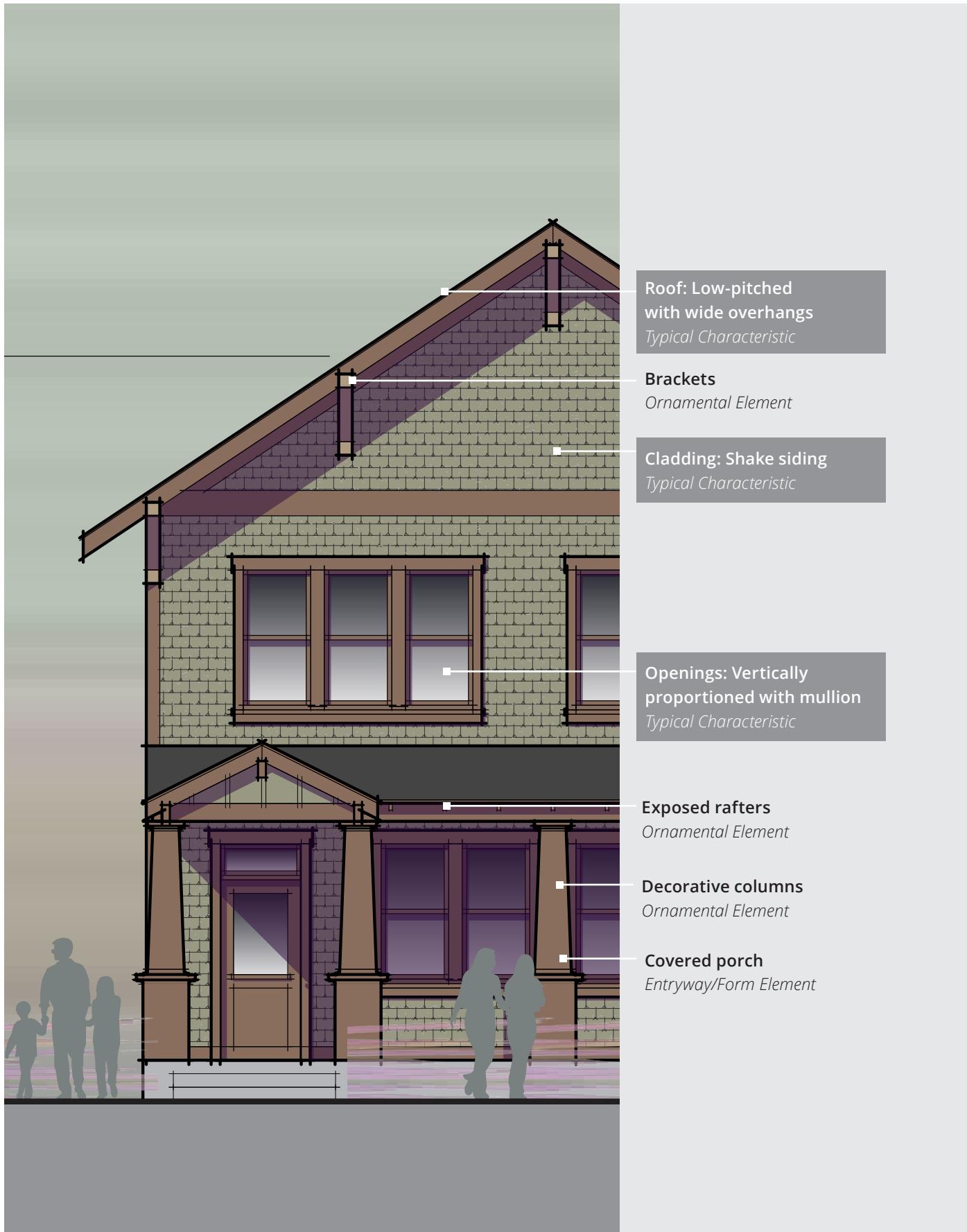


Type Description

This building type includes two units that may be situated side-by-side or stacked (shown side-by-side).

Unit Range

2 du



Duplex

(DU) - Southeastern Rustic

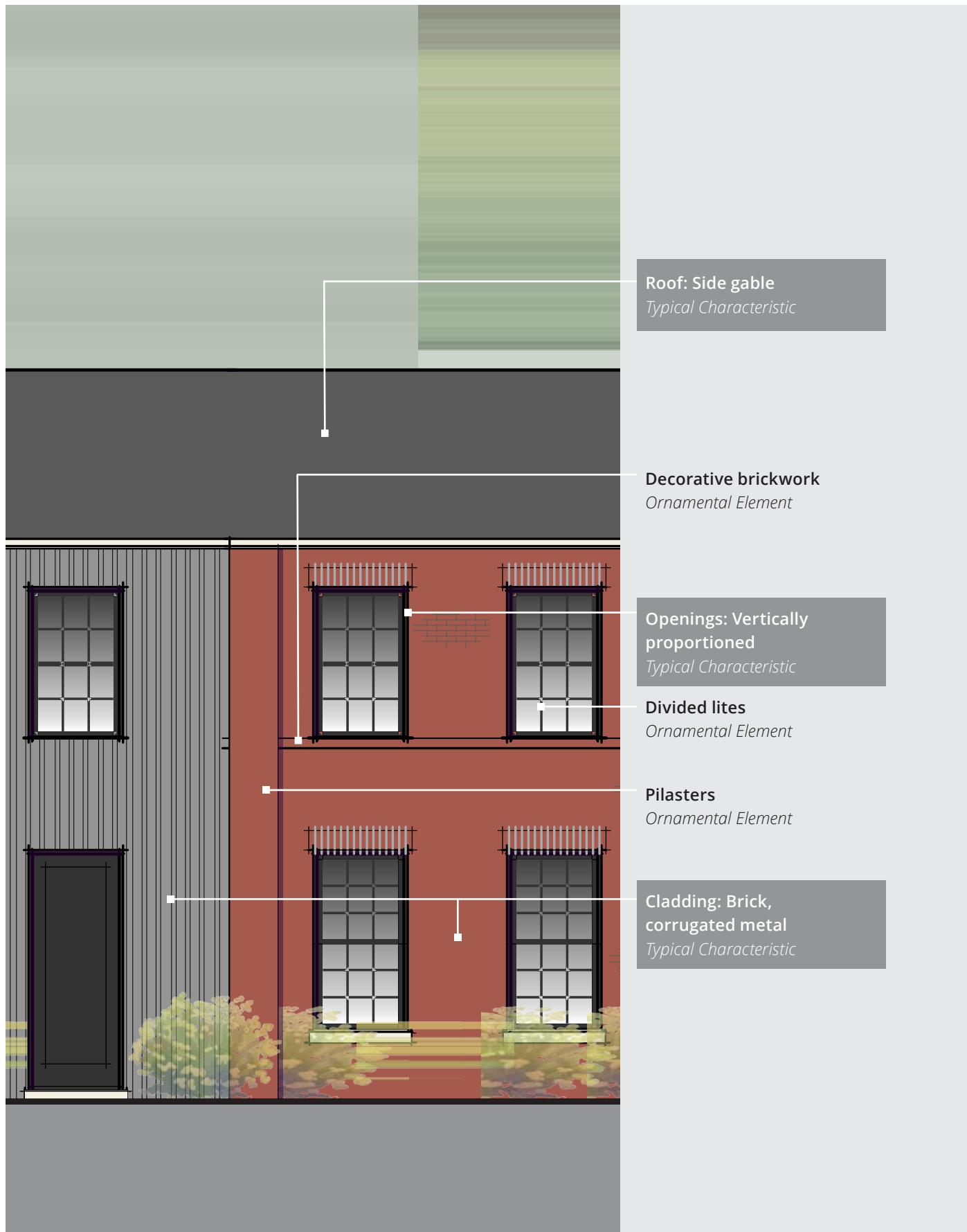


Type Description

This building type includes two units that may be situated side-by-side or stacked (shown side-by-side).

Unit Range

2 du



Mews

(MW-A, MW-C) - Main Street/ Warehouse



Type Description

This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.

Unit Range (per bay) 1 du - 3 du

Composition 1 - 3 bays



Mews

(MW-A, MW-C) - Southeastern Vernacular



Type Description

This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.

Unit Range (per bay) 1 du - 3 du

Composition 1 - 3 bays



Mews

(MW-C) - Southeastern Rustic



Type Description

This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.

Unit Range (per bay) 1 du - 3 du

Composition 1 - 3 bays



Mews

(MW-C) - Southeastern Vernacular



Type Description

This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.

Unit Range (per bay) 1 du - 3 du

Composition 1 - 3 bays



Mews

(MW-A, MW-E) - Main Street/ Warehouse



Type Description

This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.

Unit Range (per bay) 1 du - 3 du

Composition 1 - 3 bays



Mews

(MW-A, MW-E) - Southeastern Vernacular



Type Description

This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.

Unit Range (per bay) 1 du - 3 du

Composition 1 - 3 bays



Treehouse

(TE-A, TE-B) - Contemporary

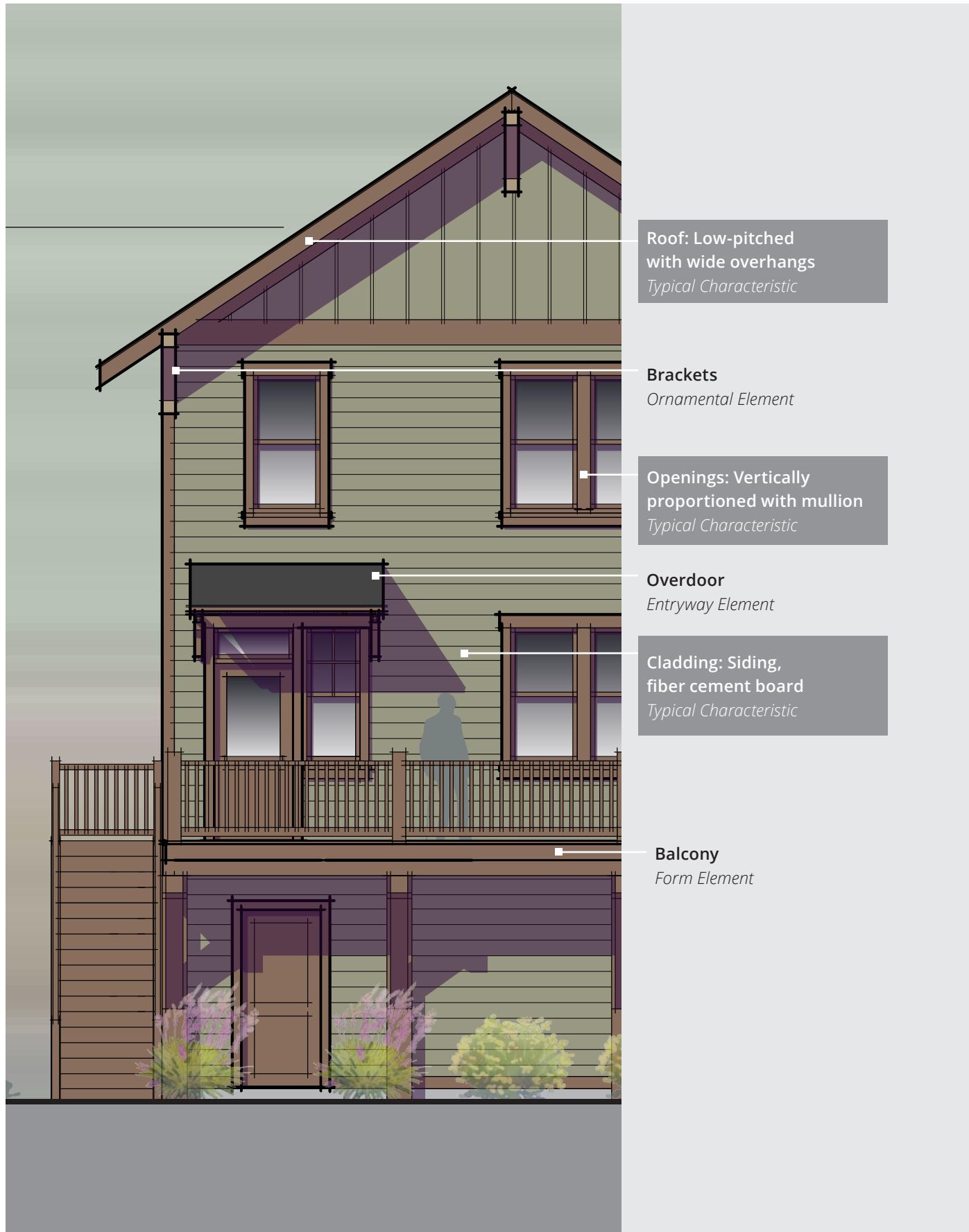


Type Description

This type features two tuck-under parking spots that can either be accessed from an alley or with a side-loaded garage. When located on an alley and facing a green, it can also be 2-stories, as grade requires, with external parking.

Unit Range

1 du



Treehouse

(TE-A, TE-B) - Southeastern Rustic

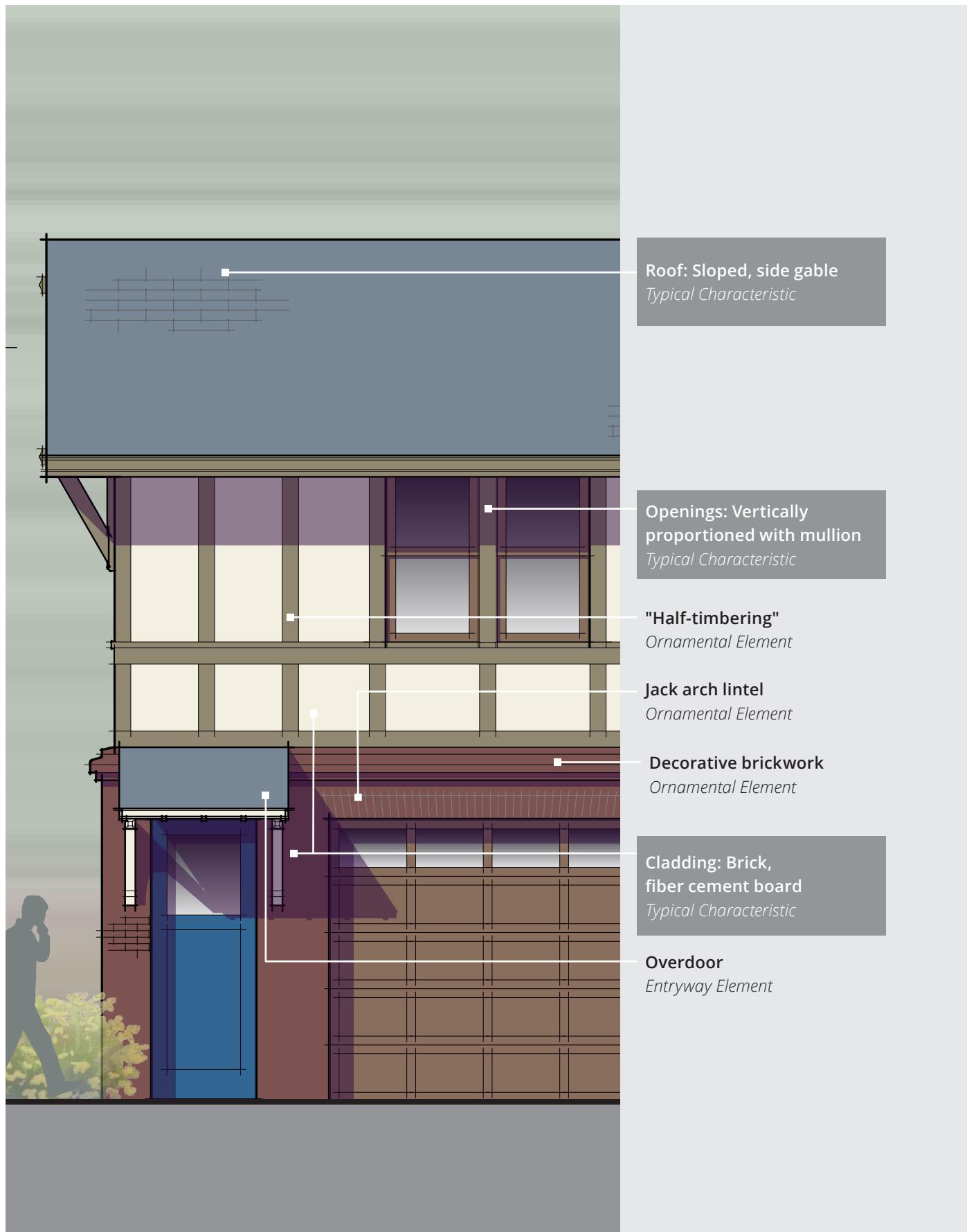


Type Description

This type features two tuck-under parking spots that can either be accessed from an alley or with a side-loaded garage. When located on an alley and facing a green, it can also be 2-stories, as grade requires, with external parking.

Unit Range

1 du



Carriage House

(CH) - Tudor



Type Description

This building combines a garage with a unit above. It shall be associated with larger multi-family building types to supplement parking and must be located off of an alley

Unit Range

1 du



Carriage House

(CH) - Southeastern Vernacular

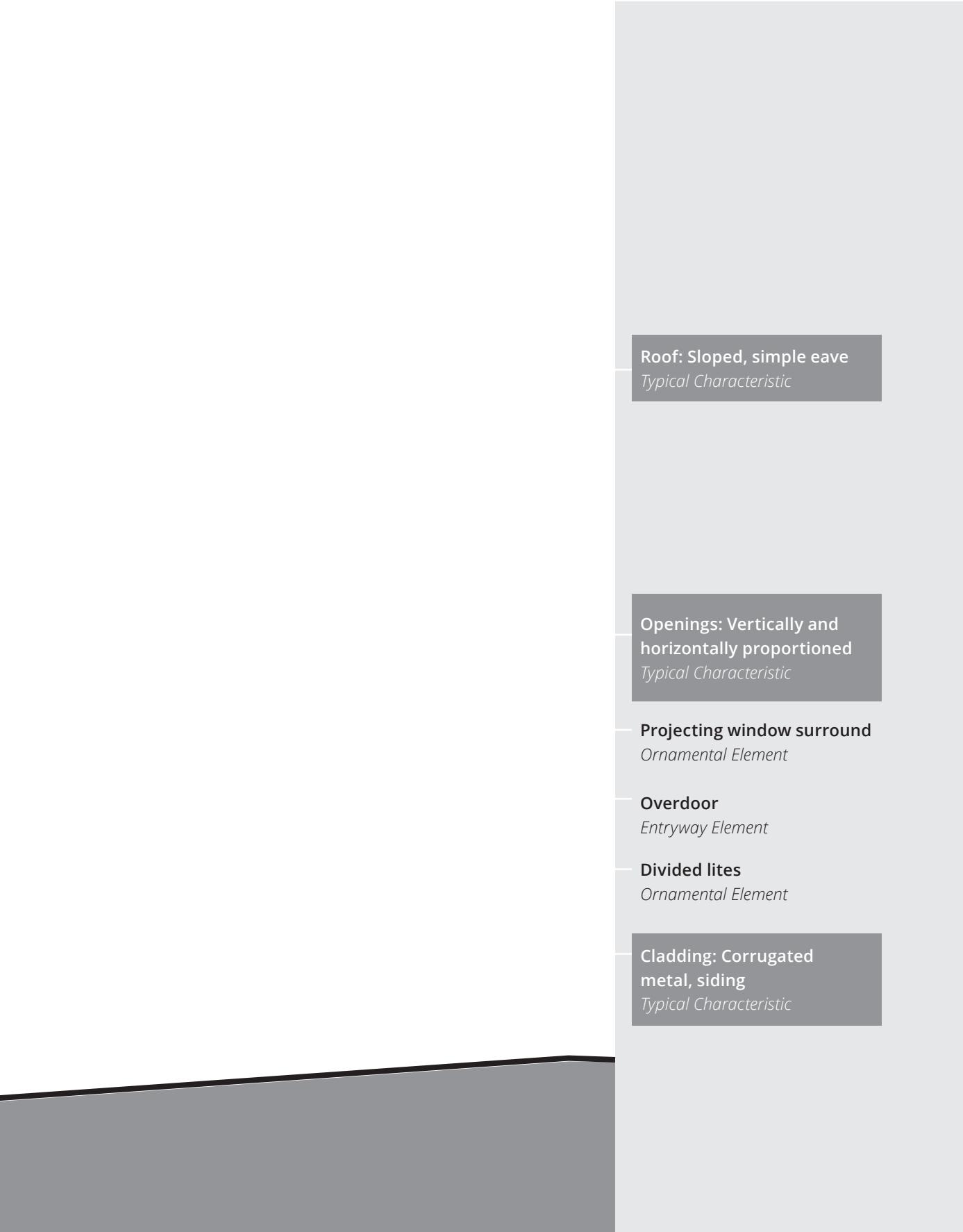


Type Description

This building combines a garage with a unit above. It shall be associated with larger multi-family building types to supplement parking and must be located off of an alley

Unit Range

1 du



Roof: Sloped, simple eave
Typical Characteristic

Openings: Vertically and horizontally proportioned
Typical Characteristic

Projecting window surround
Ornamental Element

Overdoor
Entryway Element

Divided lites
Ornamental Element

Cladding: Corrugated metal, siding
Typical Characteristic

Townhouse

(TH1-A, TH2-B) - Contemporary



Type Description

These building types are single-family attached units that feature 2 tuck-under parking spots accessed from an alley. It might be flat or step with topography.

Unit Range (per bay) 1 du

Composition 3-5 bays



Roof: Flat with Parapet

Typical Characteristic

Decorative brickwork

Ornamental Element

Openings: Vertically proportioned

Typical Characteristic

Projecting covered balcony

Entryway/Form Element

Brick jack arch lintel

Ornamental Element

Cladding: Brick, siding

Typical Characteristic

Townhouse

(TH1-A, TH2-B) - Southeastern Vernacular

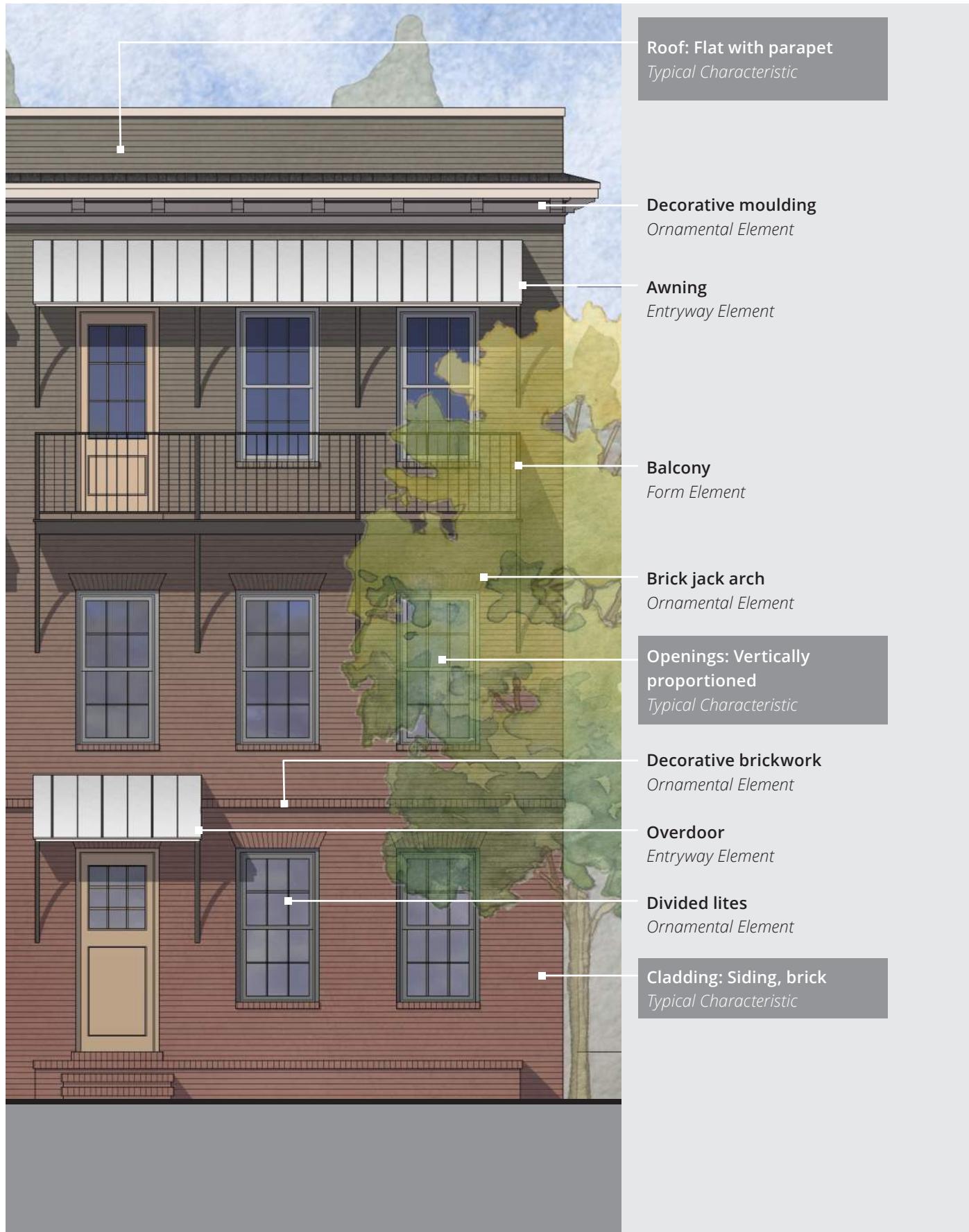


Type Description

These building types are single-family attached units that feature 2 tuck-under parking spots accessed from an alley. It might be flat or step with topography.

Unit Range (per bay) 1 du

Composition 3-5 bays



Townhouse

(TH2) - Southeastern Vernacular



Type Description

These building types are single-family attached units that feature 2 tuck-under parking spots accessed from an alley. It might be flat or step with topography.

Unit Range (per bay)	1 du
Composition	3-5 bays



Townhouse

(TH2) - Contemporary



Type Description

These building types are single-family attached units that feature 2 tuck-under parking spots accessed from an alley. It might be flat or step with topography.

Unit Range (per bay)	1 du
Composition	3-5 bays

**Roof: Low slope
with wide eaves**
Typical Characteristic

Porch
Entryway/Form Element

Brackets
Ornamental Element

Exposed rafters
Ornamental Element

Divided lites
Ornamental Element

**Openings: Vertically
proportioned**
Typical Characteristic

Cladding: Shingle, brick
Typical Characteristic

Cottage

(CT-A) - Southeastern Rustic



Type Description

This type is a detached unit under 1,000 GSF that does not exceed two stories. It can either sit on its own lot or around a common green.

Unit Range

1 du

Roof: Front gable
Typical Characteristic

Porch
Entryway/Form Element

Exposed rafters
Ornamental Element

Divided lites
Ornamental Element

Openings: Vertically proportioned
Typical Characteristic

Cladding: Board and batten
Typical Characteristic

Cottage

(CT-A) - Southeastern Vernacular

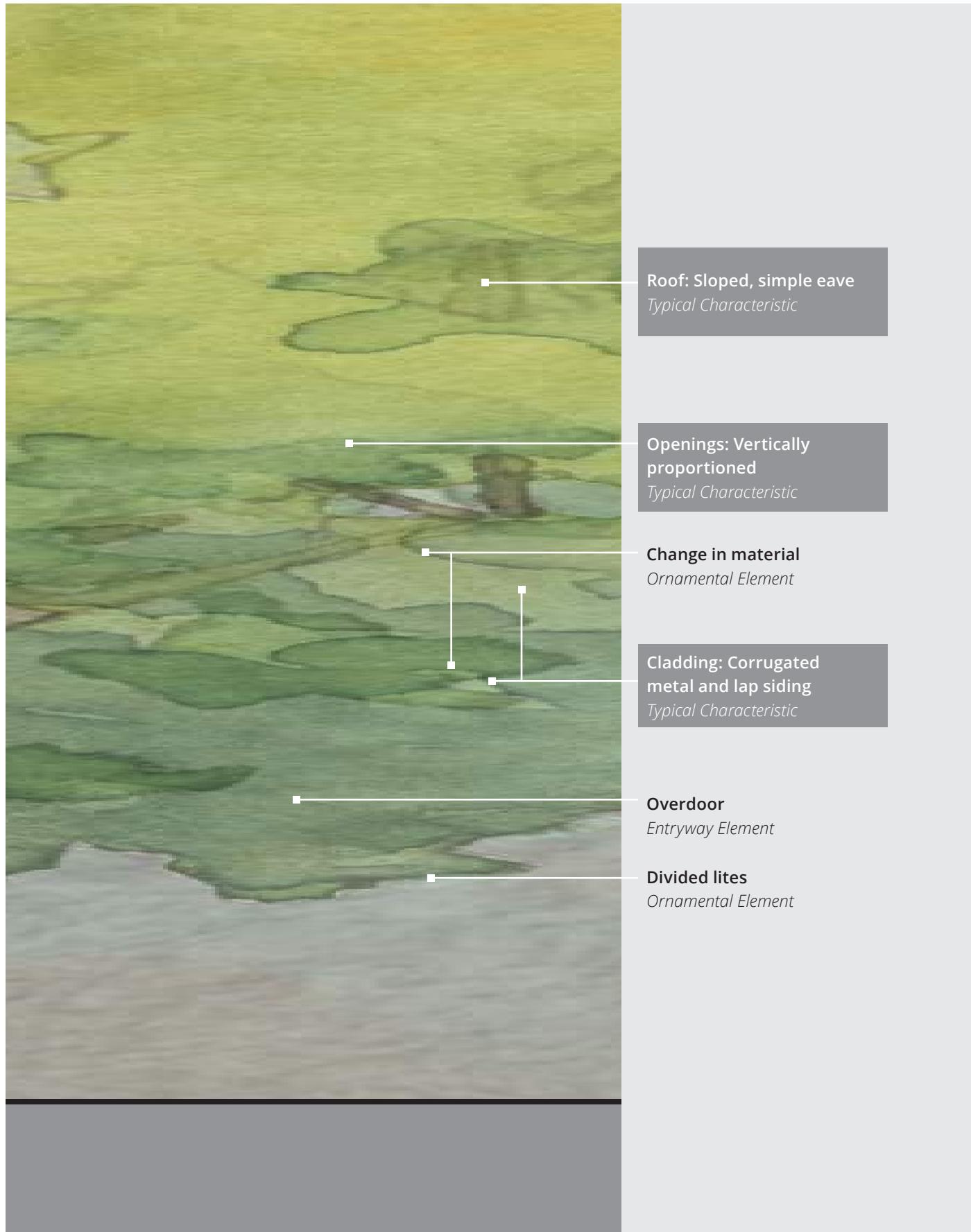


Type Description

This type is a detached unit under 1,000 GSF that does not exceed two stories. It can either sit on its own lot or around a common green.

Unit Range

1 du



Cottage

(CT-B) - Contemporary



Type Description

This type is a detached unit under 1,000 GSF that does not exceed two stories. It can either sit on its own lot or around a common green.

Unit Range

1 du



Cottage

(CT-B) - Southeastern Rustic



Type Description

This type is a detached unit under 1,000 GSF that does not exceed two stories. It can either sit on its own lot or around a common green.

Unit Range

1 du

Roof: Sloped, simple eave
Typical Characteristic

Cladding: Corrugated metal, metal panel
Typical Characteristic

Divided lites
Ornamental Element

Openings: Vertically proportioned
Typical Characteristic

Step in plane
Form Element

Porch
Entryway/Form Element

Single Family Home

(SF-S) - Contemporary



Type Description

This type is a detached unit that sits on its own lot that can be accessed either from a street or a public green.

Unit Range

1 du

Roof: Sloped, simple eave
Typical Characteristic

Brackets
Ornamental Element

Divided lites
Ornamental Element

Openings: Vertically proportioned
Typical Characteristic

Cladding: Brick, shingle
Typical Characteristic

Porch
Entryway/Form Element

Single Family Home

(SF-S) - Southeastern Rustic

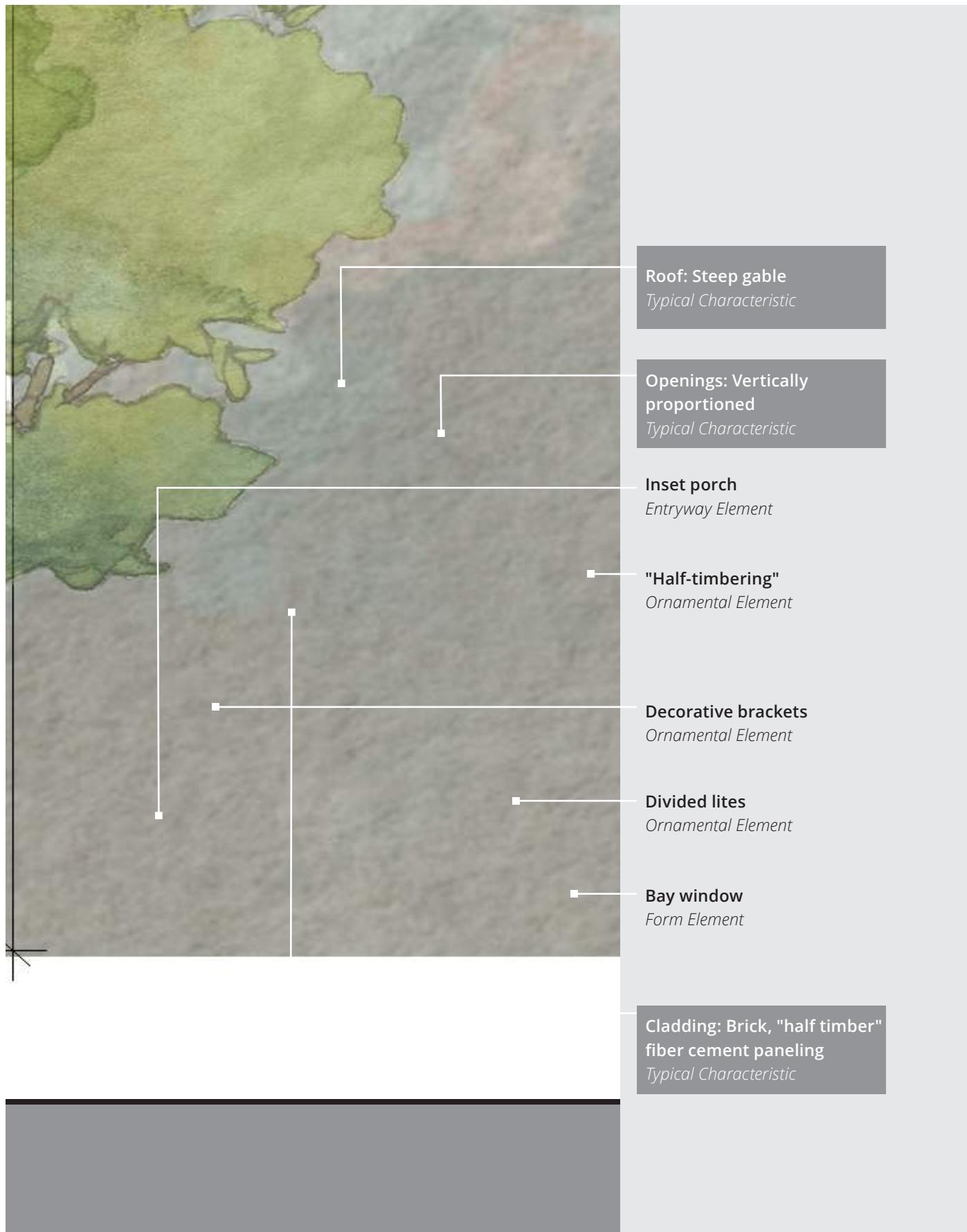


Type Description

This type is a detached unit that sits on its own lot that can be accessed either from a street or a public green.

Unit Range

1 du



Single Family Home

(SF-M) - Tudor



Type Description

This type is a detached unit that sits on its own lot that can be accessed either from a street or a public green.

Unit Range

1 du



Single Family Home

(SF-M) - Southeastern Vernacular



Type Description

This type is a detached unit that sits on its own lot that can be accessed either from a street or a public green.

Unit Range

1 du



Single Family Home

(SF-L) - Southeastern Vernacular

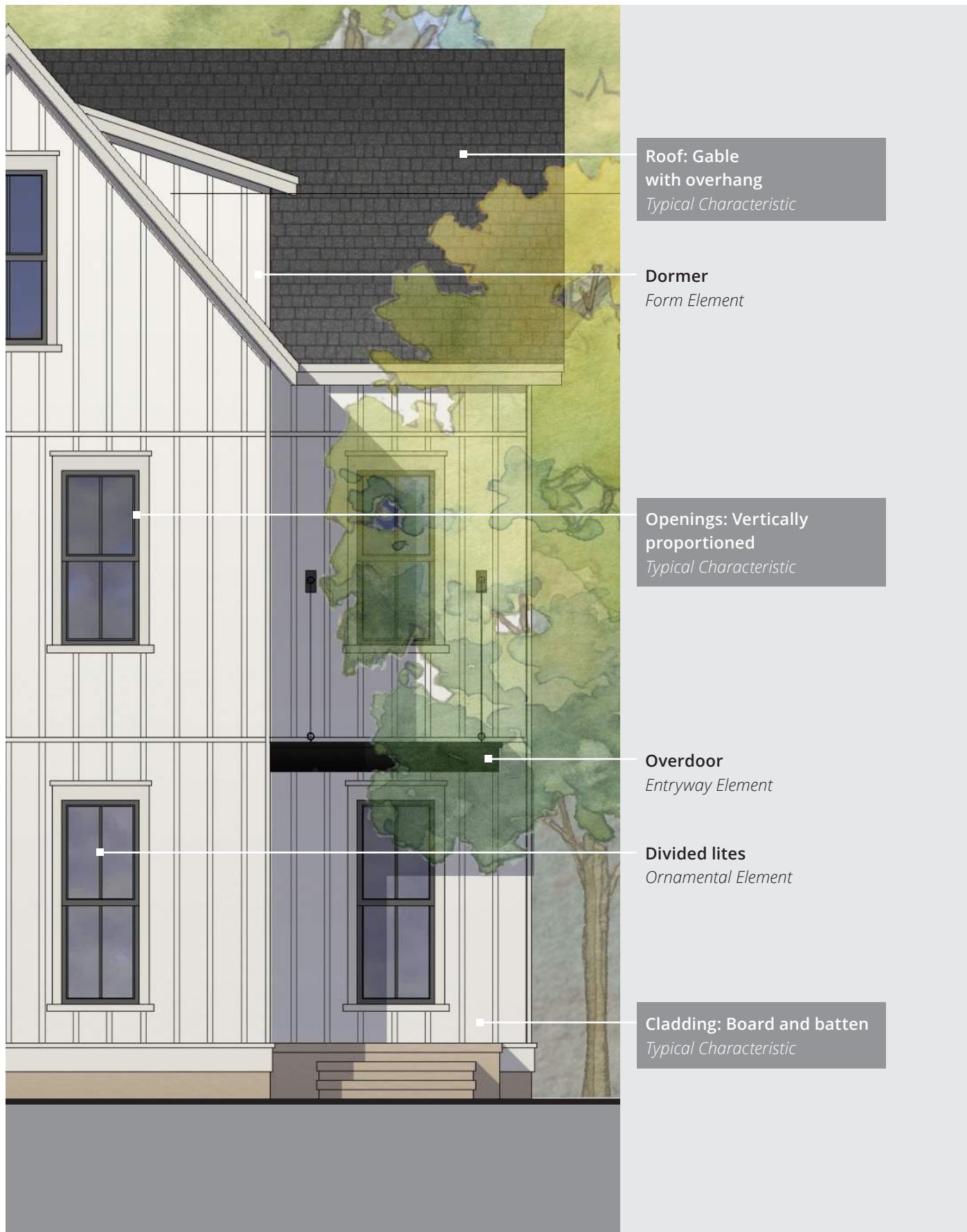


Type Description

This type is a detached unit that sits on its own lot that can be accessed either from a street or a public green.

Unit Range

1 du



Single Family Home

(SF-L) - Contemporary



Type Description

This type is a detached unit that sits on its own lot that can be accessed either from a street or a public green.

Unit Range

1 du

