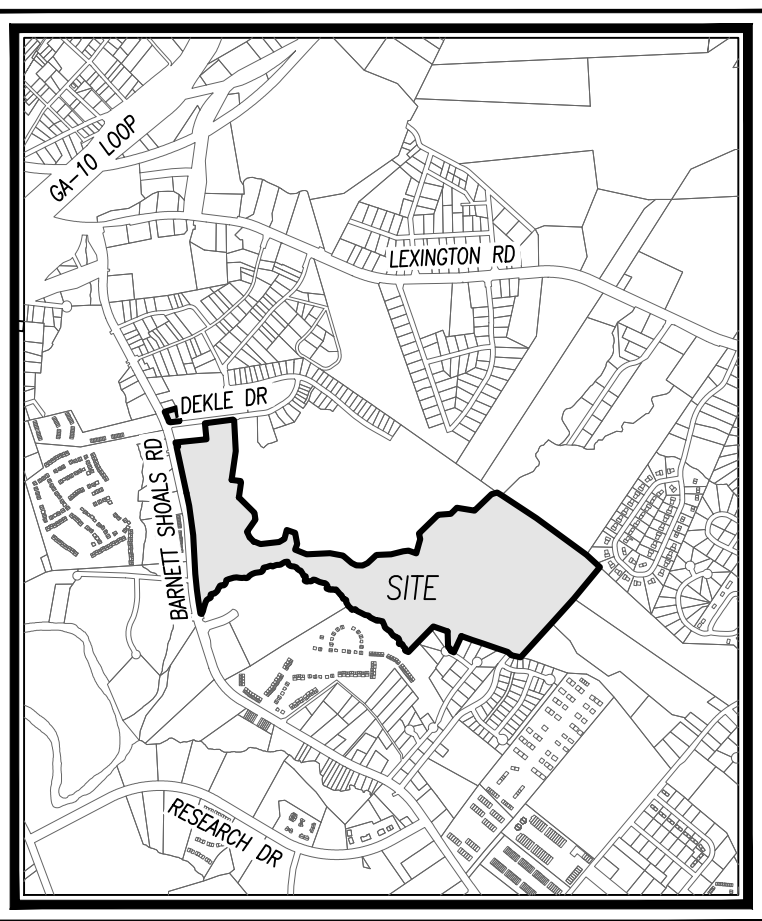
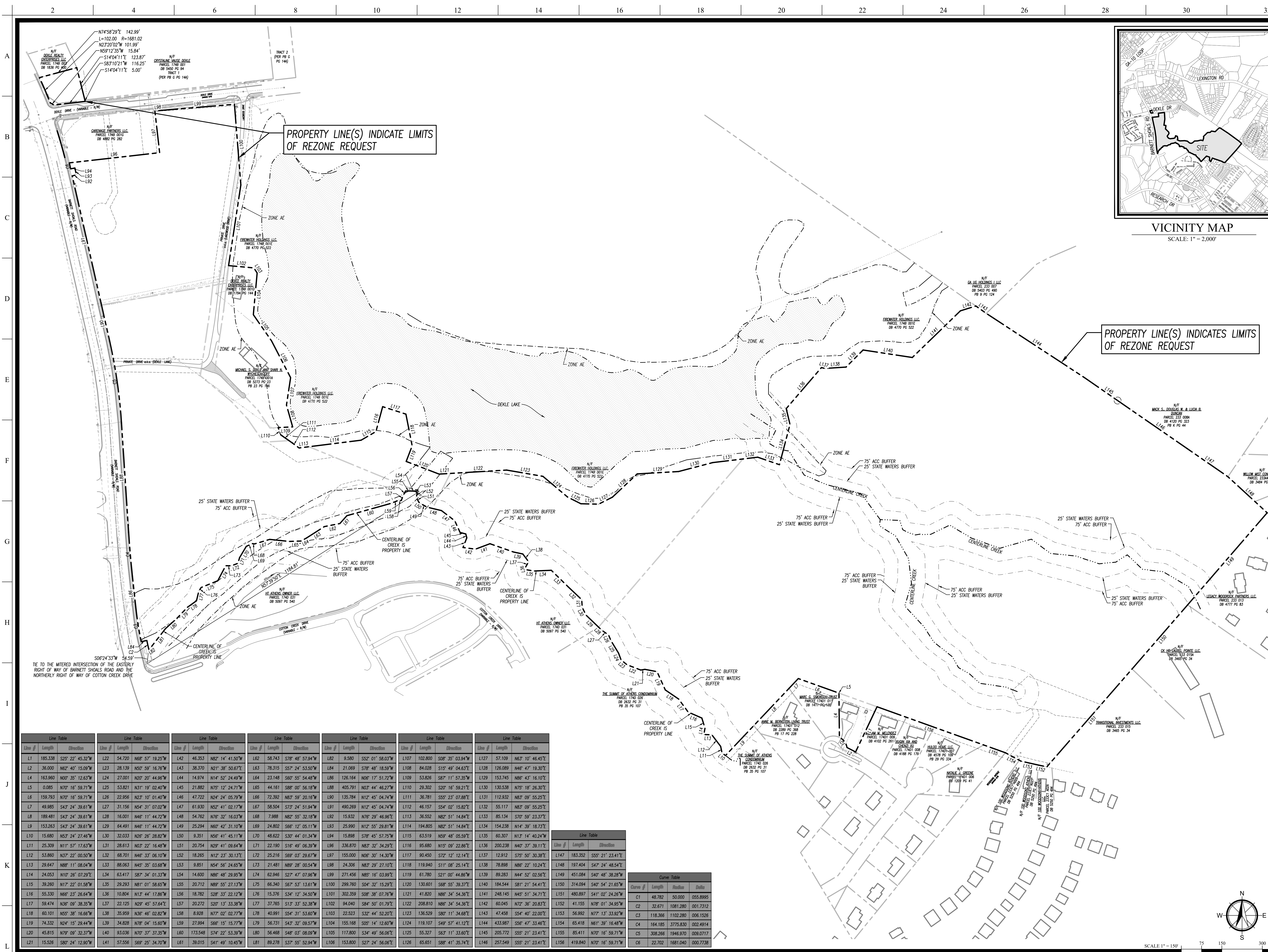




VICINITY MAP
SCALE: 1" = 2,000'



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THE SHOALS

ATHENS-CLARKE COUNTY, GEORGIA

90.22 ACRES

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REVISIONS	
DATE	COMMENT

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INITIAL SUB. DATE: 6/28/24

ISSUANCE DATE: 10/04/24

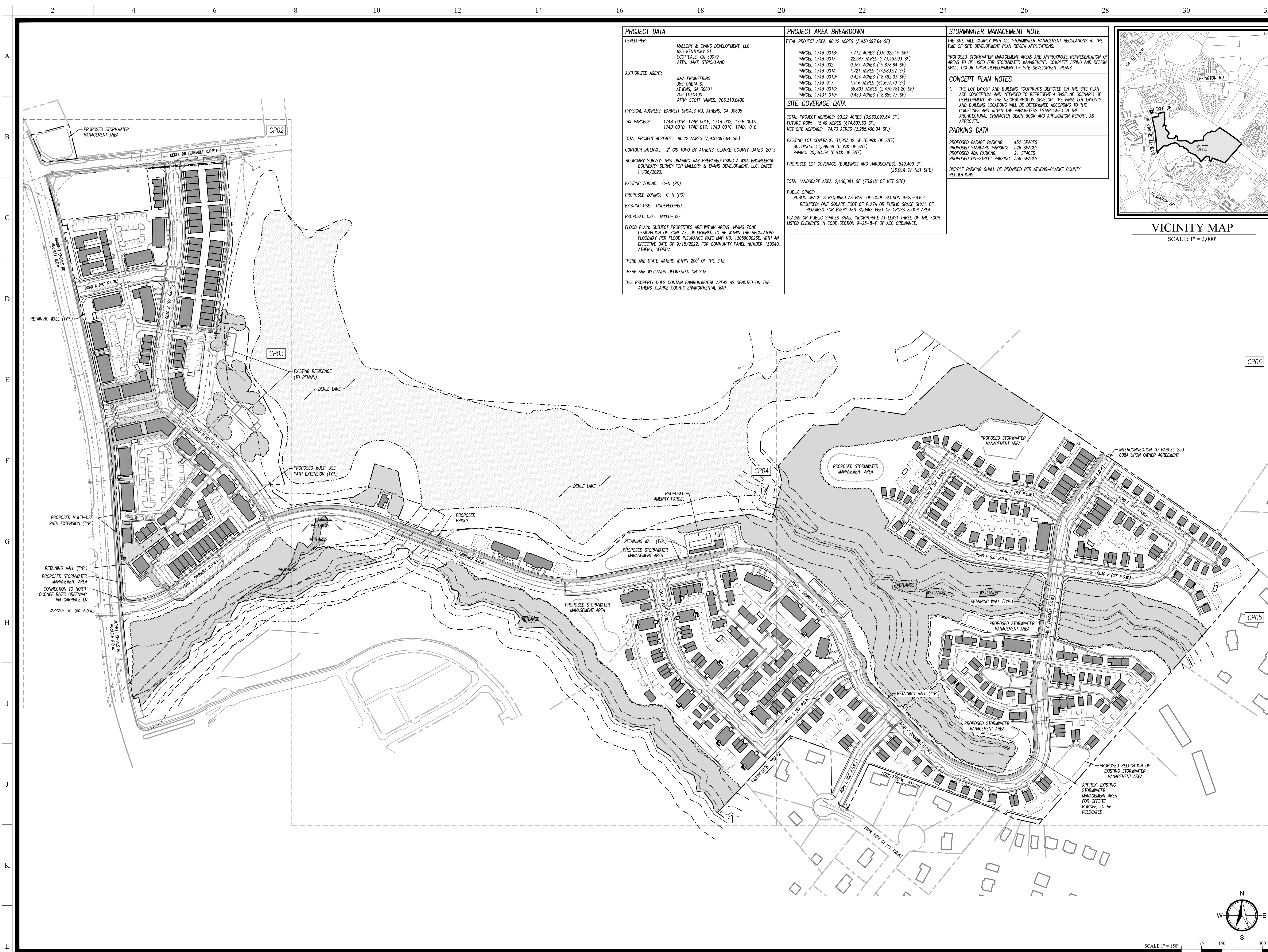


W&A PROJECT #: 230161

PD
BASE PLAN
CP00

Line Table			Line Table			Line Table			Line Table			Line Table			Line Table			Line Table		
Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction
L1	185.338	S25° 22' 45.32"W	L22	54.720	N68° 57' 19.25"W	L42	46.353	N82° 14' 41.50"W	L62	58.743	S78° 48' 57.94"W	L82	9.580	S52° 01' 58.03"W	L102	102.800	S08° 35' 03.94"W	L122	57.109	N63° 10' 46.45"E
L2	36.000	N62° 40' 15.09"W	L23	28.139	N50° 59' 16.76"W	L43	38.370	N21° 38' 50.67"E	L63	78.315	S57° 24' 53.50"W	L83	21.069	S78° 48' 18.59"W	L103	84.028	S15° 49' 04.63"E	L123	128.089	N46° 47' 19.30"E
L3	163.980	N00° 35' 12.63"E	L24	27.001	N20° 20' 44.96"W	L44	14.974	N14° 52' 24.49"W	L64	23.148	S60° 55' 54.48"W	L84	126.164	N06° 17' 51.72"W	L104	53.826	S87° 11' 57.35"W	L124	153.745	N86° 43' 16.10"E
L4	0.085	N70° 16' 59.71"W	L25	53.821	N31° 19' 02.40"W	L45	21.882	N75° 12' 24.71"W	L65	44.161	S88° 00' 56.18"W	L85	405.791	N03° 44' 46.27"W	L105	29.302	S20° 16' 59.21"W	L130	130.538	N75° 18' 26.30"E
L5	159.793	N70° 16' 59.71"W	L26	22.956	N23° 10' 01.40"W	L46	47.722	N24° 24' 05.79"W	L66	72.392	N83° 59' 20.16"W	L86	135.784	N12° 45' 04.74"W	L110	36.781	S55° 23' 07.88"E	L131	112.932	N83° 09' 55.25"E
L7	49.985	S43° 24' 39.61"W	L27	31.156	N54° 31' 07.02"W	L47	61.930	N52° 41' 02.17"W	L67	58.504	S73° 24' 51.94"W	L91	490.269	N12° 45' 04.74"W	L112	46.157	S54° 02' 15.82"E	L132	55.117	N83° 09' 55.25"E
L8	189.481	S43° 24' 39.61"W	L28	16.001	N46° 11' 44.72"W	L48	54.762	N76° 32' 16.03"W	L68	7.988	N82° 55' 32.18"W	L92	15.932	N76° 29' 46.96"E	L113	36.552	N82° 51' 14.84"E	L133	85.134	S70° 59' 23.37"E
L9	153.263	S43° 24' 39.61"W	L29	64.491	N46° 11' 44.72"W	L49	25.294	N60° 42' 31.10"W	L69	24.802	S66° 12' 05.11"W	L93	25.990	N12° 55' 29.81"W	L114	194.805	N82° 51' 14.84"E	L134	154.238	N14° 39' 18.73"E
L10	15.680	N53° 24' 27.46"W	L30	32.033	N26° 26' 28.82"W	L50	9.351	N56° 41' 45.11"W	L70	48.822	S30° 41' 04.34"W	L94	15.898	S78° 45' 57.75"W	L115	63.519	N59° 48' 05.99"E	L135	60.307	N13° 14' 40.24"W
L11	25.309	N11° 57' 17.63"W	L31	28.613	N03° 22' 16.48"W	L51	20.754	N29° 41' 09.64"W	L71	22.190	S16° 49' 06.39"W	L96	336.870	N83° 32' 34.29"E	L116	90.450	S72° 12' 12.14"E	L136	200.238	N40° 37' 39.11"E
L12	53.860	N37° 22' 00.50"W	L32	68.701	N46° 33' 06.10"W	L52	18.265	N12° 23' 30.13"E	L72	25.216	S69° 03' 29.67"W	L97	155.000	N06° 30' 14.30"W	L117	104.500	S72° 12' 12.14"E	L137	12.912	S75° 50' 30.38"E
L13	29.647	N88° 11' 08.04"W	L33	88.063	N45° 35' 03.68"W	L53	9.851	N54° 56' 24.65"W	L73	21.481	N89° 28' 00.54"W	L98	24.306	N83° 29' 27.10"E	L118	119.940	S11° 08' 25.14"E	L138	78.898	N86° 22' 10.24"E
L14	24.053	N10° 26' 07.29"E	L34	63.417	S87° 34' 01.33"W	L54	14.600	N86° 48' 29.95"W	L74	62.946	S27° 47' 07.96"W	L99	271.456	N85° 16' 03.99"E	L119	61.780	S21° 00' 44.86"W	L139	89.283	N44° 52' 02.56"E
L15	39.260	N17° 22' 01.58"W	L35	29.293	N81° 01' 58.65"W	L55	20.712	N89° 55' 27.13"W	L75	66.340	S67° 53' 13.61"W	L100	299.760	S04° 32' 15.29"E	L120	130.601	S68° 55' 39.37"E	L140	184.544	S81° 21' 54.41"E
L16	55.330	N66° 23' 26.64"W	L36	10.804	N13° 44' 17.86"W	L56	18.782	S28° 33' 22.12"W	L76	15.378	S34° 12' 34.50"W	L101	302.359	S08° 38' 07.76"W	L121	41.820	N86° 34' 54.36"E	L141	248.145	N45° 51' 34.71"E
L17	59.474	N36° 09' 38.35"W	L37	22.125	N29° 45' 57.64"E	L57	20.272	S20° 13' 33.38"W	L77	37.765	S13° 33' 52.38"W	L102	94.040	S84° 50' 07.91"E	L122	208.810	N86° 34' 54.36"E	L142	60.045	N72° 36' 20.83"E
L18	60.101	N55° 38' 16.66"W	L38	35.959	N36° 48' 02.82"W	L58	8.928	N77° 02' 02.77"W	L78	40.991	S54° 31' 53.60"W	L103	22.523	S32° 44' 52.20"E	L123	136.529	S80° 11' 34.68"E	L143	47.458	S54° 40' 22.00"E
L19	74.332	N24° 15' 29.44"W	L39	34.828	N78° 04' 15.60"W	L59	27.994	S66° 15' 15.77"W	L79	56.731	S43° 32' 09.57"W	L104	155.168	S05° 14' 12.60"W	L124	119.107	S49° 57' 41.12"E	L144	433.987	S56° 47' 33.46"E
L20	45.815	N79° 09' 32.37"W	L40	93.036	N70° 37' 37.35"W	L60	173.548	S74° 22' 53.39"W	L80	56.468	S48° 03' 08.09"W	L105	117.800	S34° 49' 56.06"E	L125	55.327	S63° 11' 33.60"E	L145	205.772	S55° 21' 23.41"E
L21	15.526	S80° 24' 12.90"W	L41	57.556	S69° 25' 34.70"W	L61	39.015	S41° 49' 10.45"W	L81	89.278	S37° 55' 52.94"W	L106	153.800	S27° 24' 56.06"E	L126	65.651	S88° 41' 35.74"E	L146	257.549	S55° 21' 23.41"E
																		Line Table		
																		Line #		
																		Length		
																		Direction		

Curve Table			
Curve #	Length	Radius	Delta
C1	48.782	50,000	055.895°
C2	32.671	1081,280	001.7312°
C3	118.366	1102,280	006.1526°
C4	164.185	3775,830	002.4914°
C5	308.286	1946,970	009.0717°
C6	22.702	1681,040	000.7738°



PROJECT DATA

DEVELOPER:
MALLORY & EVANS DEVELOPMENT, LLC
625 KENTUCKY ST
SCOTSDALE, GA 30079
ATTN: JAKE STRICKLAND

AUTHORIZED AGENT:
W&A ENGINEERING
355 ONETA ST.
ATHENS, GA 30601
706.310.0400
ATTN: SCOTT HAINES, 706.310.0400

PHYSICAL ADDRESS: BARNETT SHOALS RD, ATHENS, GA 30605

TAX PARCELS: 174B 001B, 174B 001F, 174B 002, 174B 001A, 174B 001D, 174B 017, 174B 001C, 174D1 010

TOTAL PROJECT ACREAGE: 90.22 ACRES (3,930,097.64 SF.)

CONTOUR INTERVAL: 2' GIS TOPO BY ATHENS-CLARKE COUNTY DATED 2013.

BOUNDARY SURVEY: THIS DRAWING WAS PREPARED USING A W&A ENGINEERING BOUNDARY SURVEY FOR MALLORY & EVANS DEVELOPMENT, LLC, DATED 11/06/2023.

EXISTING ZONING: C-N (PD)

PROPOSED ZONING: C-N (PD)

EXISTING USE: UNDEVELOPED

PROPOSED USE: MIXED-USE

FLOOD PLAN: SUBJECT PROPERTIES ARE WITHIN AREAS HAVING ZONE DESIGNATION OF ZONE AE, DETERMINED TO BE WITHIN THE REGULATORY FLOODWAY PER FLOOD INSURANCE RATE MAP NO. 13059C00206, WITH AN EFFECTIVE DATE OF 9/15/2022, FOR COMMUNITY PANEL NUMBER 130040, ATHENS, GEORGIA.

THERE ARE STATE WATERS WITHIN 200' OF THE SITE.

THERE ARE WETLANDS DELINEATED ON SITE.

THIS PROPERTY DOES CONTAIN ENVIRONMENTAL AREAS AS DENOTED ON THE ATHENS-CLARKE COUNTY ENVIRONMENTAL MAP.

PROJECT AREA BREAKDOWN

TOTAL PROJECT AREA: 90.22 ACRES (3,930,097.64 SF)

PARCEL 174B 001B: 7.712 ACRES (335,925.15 SF)
PARCEL 174B 001F: 22.347 ACRES (973,453.03 SF)
PARCEL 174B 002: 0.364 ACRES (15,878.84 SF)
PARCEL 174B 001A: 1.721 ACRES (74,983.92 SF)
PARCEL 174B 001D: 0.424 ACRES (18,492.03 SF)
PARCEL 174B 017: 1.416 ACRES (61,697.70 SF)
PARCEL 174B 001C: 55.803 ACRES (2,430,781.20 SF)
PARCEL 174D1 010: 0.433 ACRES (18,885.77 SF)

TOTAL PROJECT ACREAGE: 90.22 ACRES (3,930,097.64 SF.)
FUTURE ROW: 15.49 ACRES (674,607.60 SF.)
NET SITE ACREAGE: 74.73 ACRES (3,255,490.04 SF.)

EXISTING LOT COVERAGE: 31,953.02 SF (0.98% OF SITE)
BUILDINGS: 11,389.68 (0.35% OF SITE)
PAVING: 20,563.34 (0.63% OF SITE)

PROPOSED LOT COVERAGE (BUILDINGS AND HARDSCAPES): 849,409 SF. (26.09% OF NET SITE)

TOTAL LANDSCAPE AREA: 2,406,081 SF (73.91% OF NET SITE)

PUBLIC SPACE:
PUBLIC SPACE IS REQUIRED AS PART OF CODE SECTION 9-25-8.F.2
REQUIRED: ONE SQUARE FOOT OF PLAZA OR PUBLIC SPACE SHALL BE REQUIRED FOR EVERY TEN SQUARE FEET OF GROSS FLOOR AREA
PLAZAS OR PUBLIC SPACES SHALL INCORPORATE AT LEAST THREE OF THE FOUR LISTED ELEMENTS IN CODE SECTION 9-25-8.F. OF ACC ORDINANCE.

SITE COVERAGE DATA

STORMWATER MANAGEMENT NOTE

THE SITE WILL COMPLY WITH ALL STORMWATER MANAGEMENT REGULATIONS AT THE TIME OF SITE DEVELOPMENT PLAN REVIEW APPLICATIONS.

PROPOSED STORMWATER MANAGEMENT AREAS ARE APPROXIMATE REPRESENTATION OF AREAS TO BE USED FOR STORMWATER MANAGEMENT. COMPLETE SIZING AND DESIGN SHALL OCCUR UPON DEVELOPMENT OF SITE DEVELOPMENT PLANS.

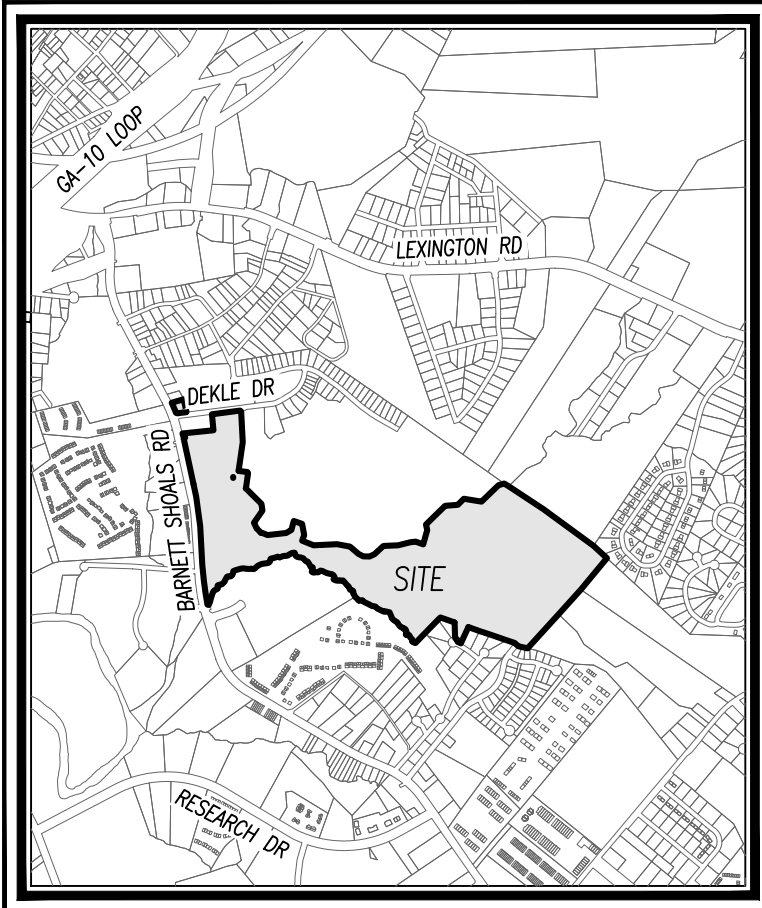
CONCEPT PLAN NOTES

1. THE LOT LAYOUT AND BUILDING FOOTPRINTS DEPICTED ON THE SITE PLAN ARE CONCEPTUAL AND INTENDED TO REPRESENT A BASELINE SCENARIO OF DEVELOPMENT. AS THE NEIGHBORHOODS DEVELOP, THE FINAL LOT LAYOUTS AND BUILDING LOCATIONS WILL BE DETERMINED ACCORDING TO THE GUIDELINES AND WITHIN THE PARAMETERS ESTABLISHED IN THE ARCHITECTURAL CHARACTER DESIGN BOOK AND APPLICATION REPORT, AS APPROVED.

PARKING DATA

PROPOSED GARAGE PARKING: 452 SPACES
PROPOSED STANDARD PARKING: 526 SPACES
PROPOSED ADA PARKING: 21 SPACES
PROPOSED ON-STREET PARKING: 356 SPACES

BICYCLE PARKING SHALL BE PROVIDED PER ATHENS-CLARKE COUNTY REGULATIONS.



VICINITY MAP
SCALE: 1" = 2,000'

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THE SHOALS

ATHENS-CLARKE COUNTY, GEORGIA

90.22 ACRES

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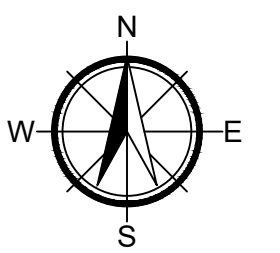
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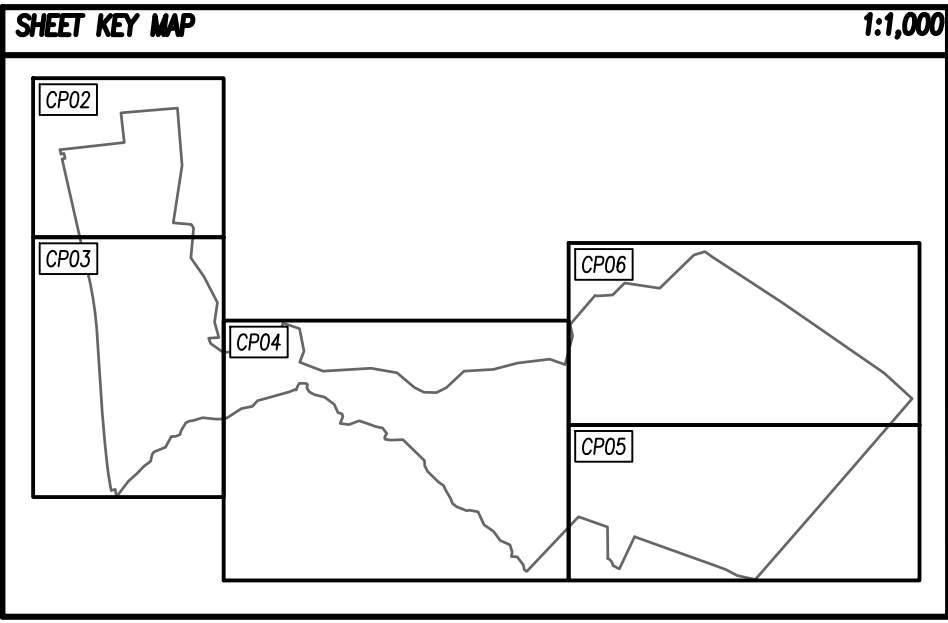
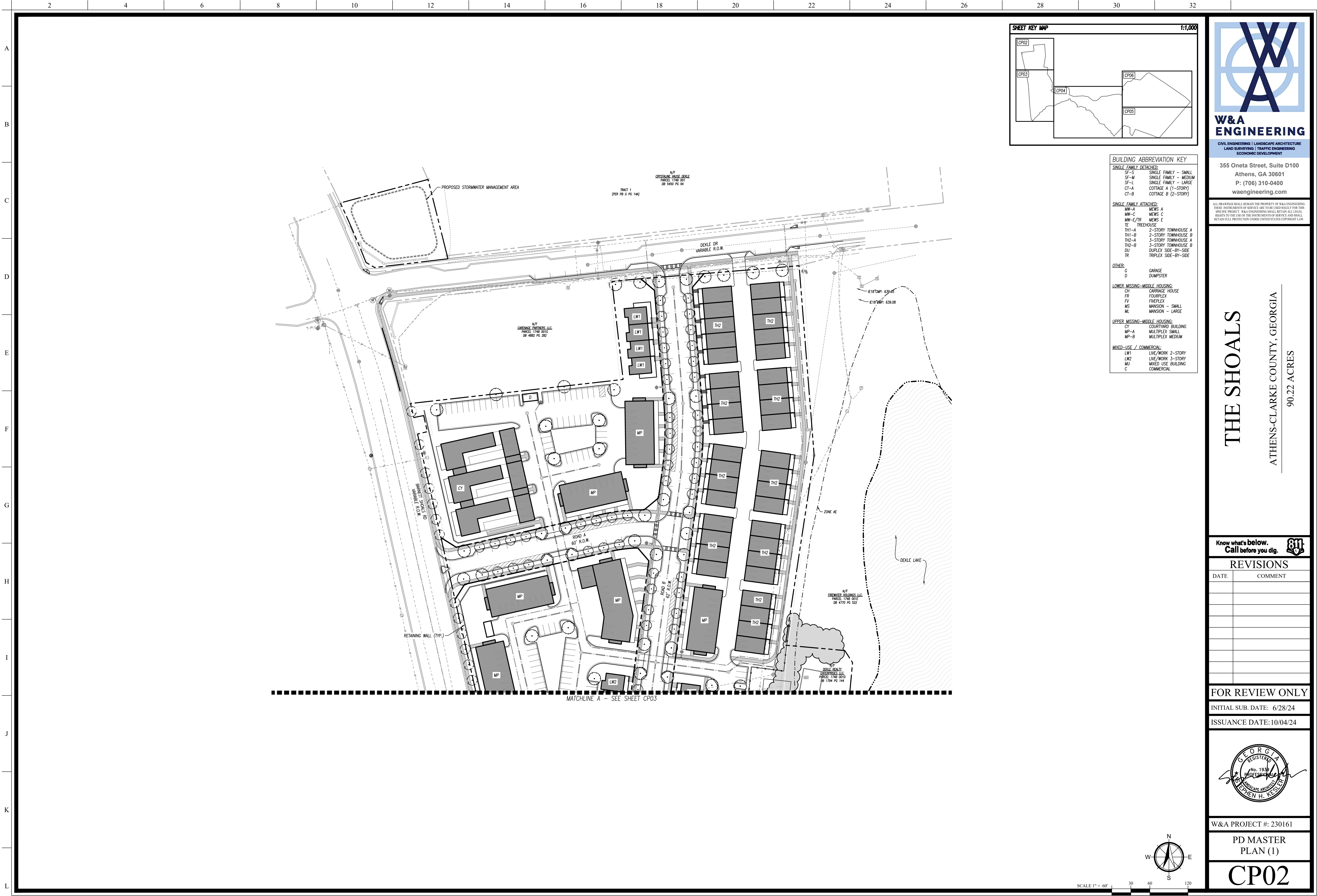
W&A PROJECT #: 230161

OVERALL PD
MASTER PLAN

CP01



SCALE 1" = 150' 75 150 300



BUILDING ABBREVIATION KEY	
SINGLE FAMILY DETACHED:	
SF-S	SINGLE FAMILY - SMALL
SF-M	SINGLE FAMILY - MEDIUM
SF-L	SINGLE FAMILY - LARGE
CT-A	COTTAGE A (1-STORY)
CT-B	COTTAGE B (2-STORY)
SINGLE FAMILY ATTACHED:	
MW-A	MEWS A
MW-C	MEWS C
MW-E/TR	MEWS E
TE	TREEHOUSE
TH1-A	2-STORY TOWNHOUSE A
TH1-B	2-STORY TOWNHOUSE B
TH2-A	3-STORY TOWNHOUSE A
TH2-B	3-STORY TOWNHOUSE B
DU	DUPLEX SIDE-BY-SIDE
TR	TRIPLEX SIDE-BY-SIDE
OTHER:	
G	GARAGE
D	DUMPSTER
LOWER MISSING-MIDDLE HOUSING:	
CH	CARRIAGE HOUSE
FR	FOURPLEX
FV	FIVEPLEX
MS	MANSSION - SMALL
ML	MANSSION - LARGE
UPPER MISSING-MIDDLE HOUSING:	
CY	COURTYARD BUILDING
MP-A	MULTIPLEX SMALL
MP-B	MULTIPLEX MEDIUM
MIXED-USE / COMMERCIAL:	
LW1	LIVE/WORK 2-STORY
LW2	LIVE/WORK 3-STORY
MU	MIXED USE BUILDING
C	COMMERCIAL



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THE SHOALS

ATHENS-CLARKE COUNTY, GEORGIA

90.22 ACRES

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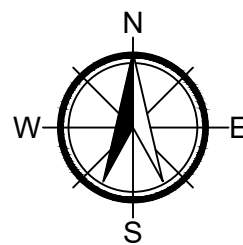
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W&A PROJECT #: 230161

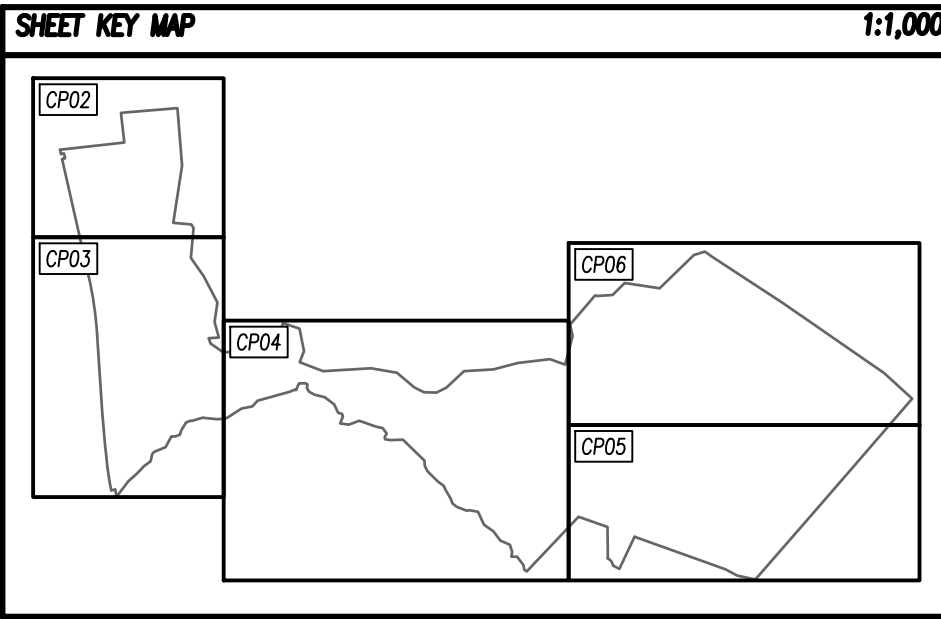
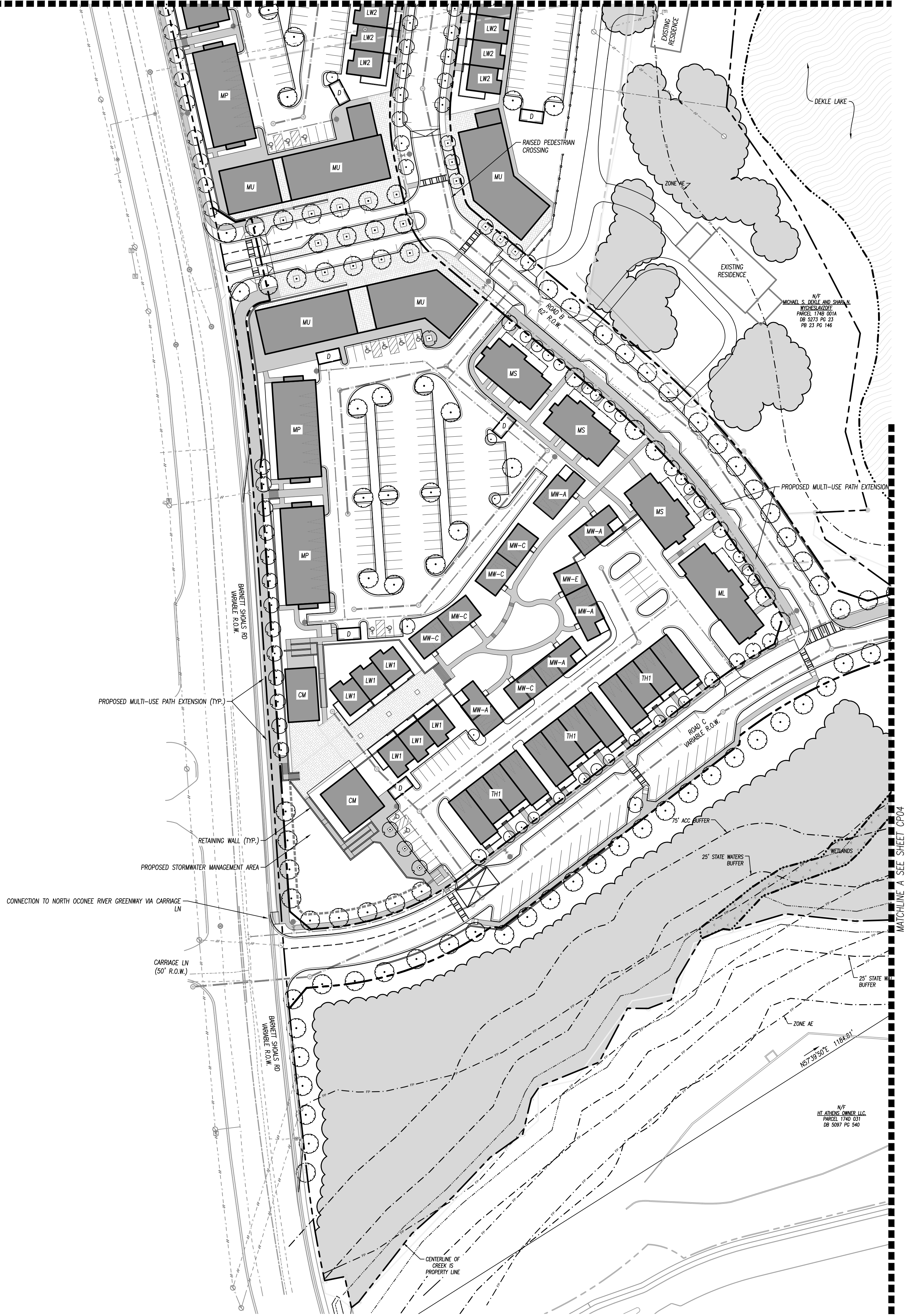
PD MASTER
PLAN (1)

CP02



SCALE 1" = 60' 30' 60' 120'

MATCHLINE A - SEE SHEET CP02



BUILDING ABBREVIATION KEY	
SINGLE FAMILY DETACHED:	
SF-S	SINGLE FAMILY - SMALL
SF-M	SINGLE FAMILY - MEDIUM
SF-L	SINGLE FAMILY - LARGE
CT-A	COTTAGE A (1-STORY)
CT-B	COTTAGE B (2-STORY)
SINGLE FAMILY ATTACHED:	
MW-A	MEN'S A
MW-C	MEN'S C
MW-E/TR	MEN'S E
TE	TREEHOUSE
TH1-A	2-STORY TOWNHOUSE A
TH1-B	2-STORY TOWNHOUSE B
TH2-A	3-STORY TOWNHOUSE A
TH2-B	3-STORY TOWNHOUSE B
DU	DUPLEX SIDE-BY-SIDE
TR	TRIPLEX SIDE-BY-SIDE
OTHER:	
G	GARAGE
D	DUMPSTER
LOWER MISSING-MIDDLE HOUSING:	
CH	CARRIAGE HOUSE
FR	FOURPLEX
FV	FIVEPLEX
MS	MANSSION - SMALL
ML	MANSSION - LARGE
UPPER MISSING-MIDDLE HOUSING:	
CY	COURTYARD BUILDING
MP-A	MULTIPLEX SMALL
MP-B	MULTIPLEX MEDIUM
MIXED-USE / COMMERCIAL:	
LW1	LIVE/WORK 2-STORY
LW2	LIVE/WORK 3-STORY
MU	MIXED USE BUILDING
C	COMMERCIAL



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90.22 ACRES

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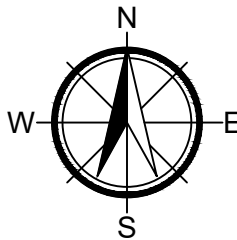
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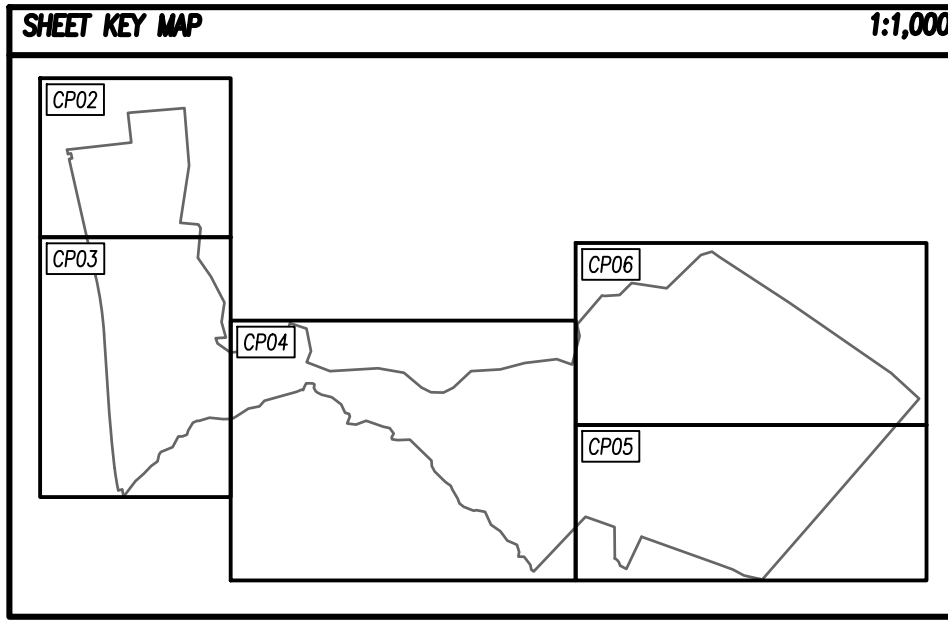
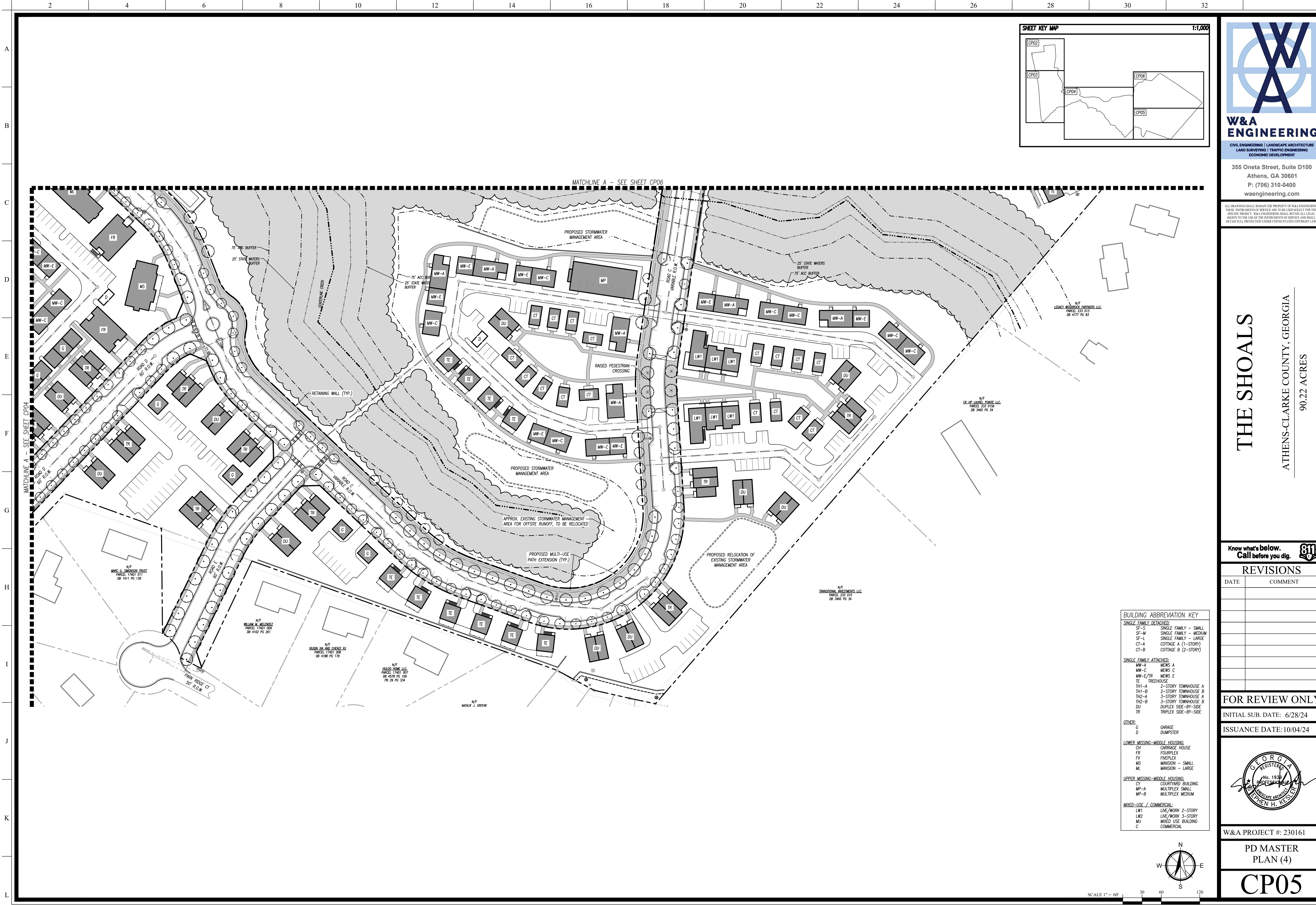
W&A PROJECT #: 230161

PD MASTER
PLAN (2)

CP03



SCALE 1" = 60' 30' 60' 120'





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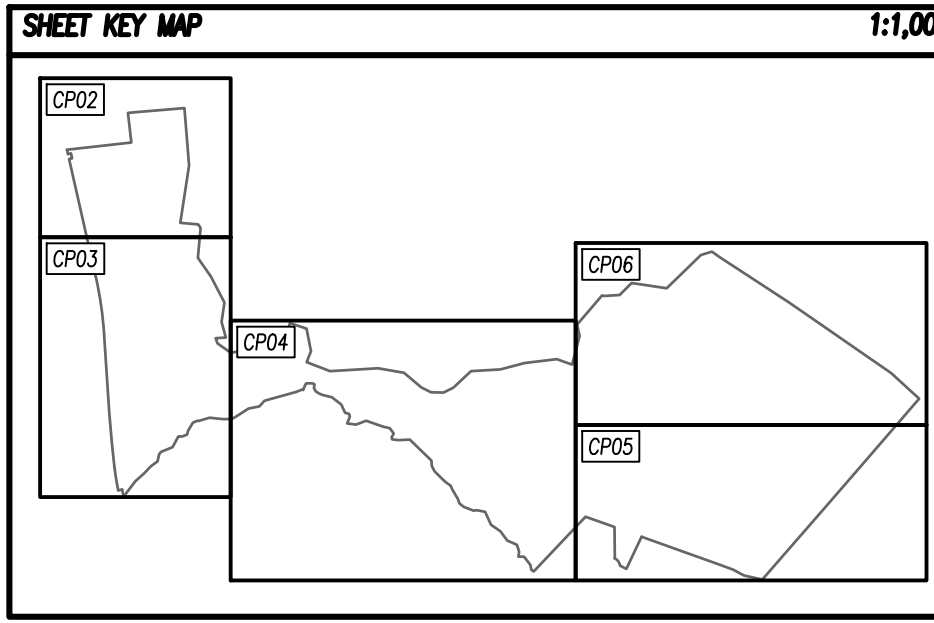
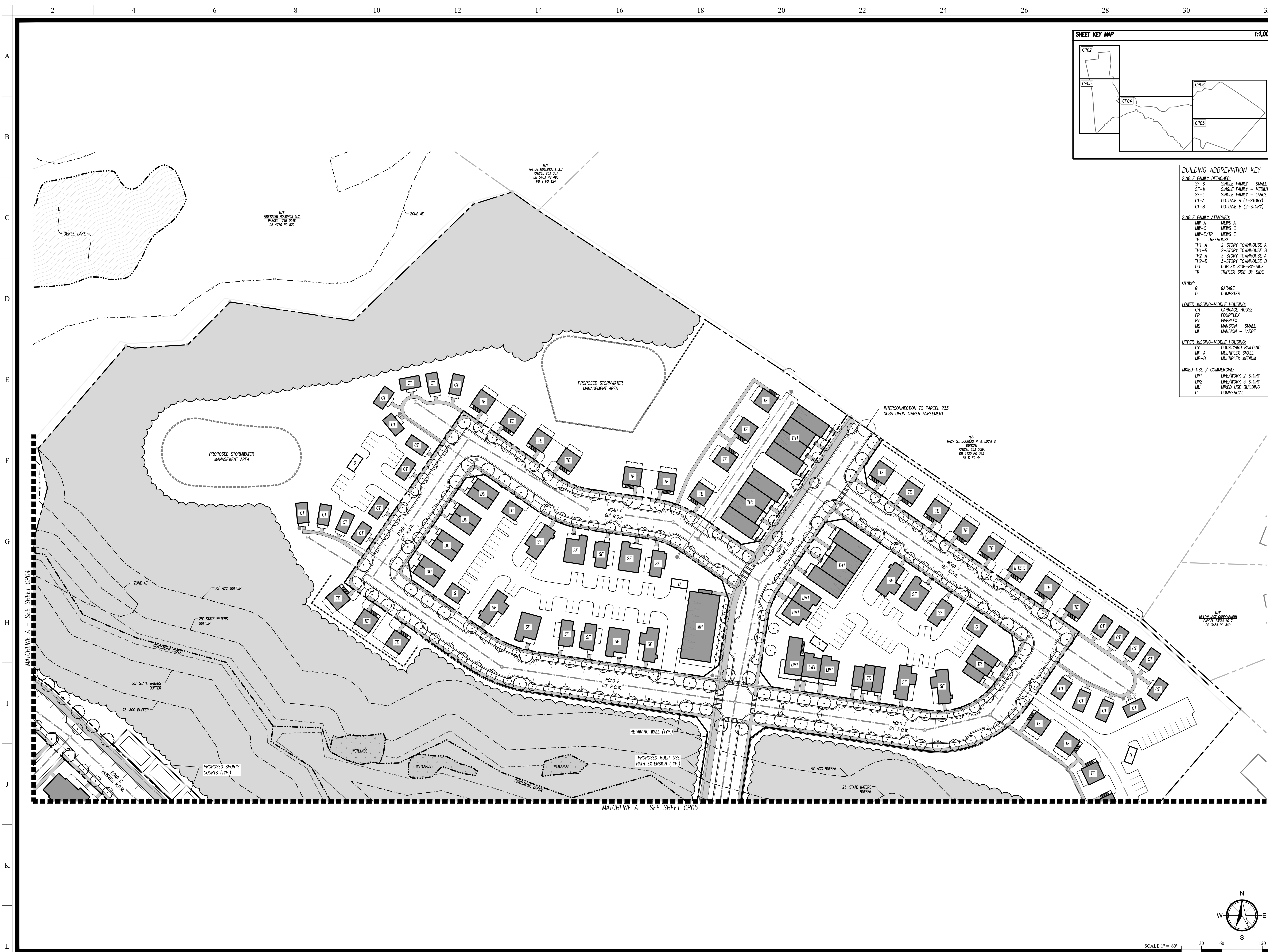


W&A PROJECT #: 230161

PD MASTER
PLAN (4)

CP05

- BUILDING ABBREVIATION KEY**
- SINGLE FAMILY DETACHED:**
- SF-S SINGLE FAMILY - SMALL
 - SF-M SINGLE FAMILY - MEDIUM
 - SF-L SINGLE FAMILY - LARGE
 - CT-A COTTAGE A (1-STORY)
 - CT-B COTTAGE B (2-STORY)
- SINGLE FAMILY ATTACHED:**
- MW-A MEWS A
 - MW-C MEWS C
 - MW-E/TR MEWS E
 - TE TOWNHOUSE
 - TH1-A 2-STORY TOWNHOUSE A
 - TH1-B 2-STORY TOWNHOUSE B
 - TH2-A 3-STORY TOWNHOUSE A
 - TH2-B 3-STORY TOWNHOUSE B
 - DU DUPLEX SIDE-BY-SIDE
 - TR TRIPLEX SIDE-BY-SIDE
- OTHER:**
- G GARAGE
 - D DUMPSTER
- LOWER MISSING-MIDDLE HOUSING:**
- CH CARRIAGE HOUSE
 - FR FOURPLEX
 - FV FIVEPLEX
 - MS MANSION - SMALL
 - ML MANSION - LARGE
- UPPER MISSING-MIDDLE HOUSING:**
- CT COURTYARD BUILDING
 - MP-A MULTIPLEX SMALL
 - MP-B MULTIPLEX MEDIUM
- MIXED-USE / COMMERCIAL:**
- LW1 LIVE/WORK 2-STORY
 - LW2 LIVE/WORK 3-STORY
 - MU MIXED USE BUILDING
 - C COMMERCIAL



BUILDING ABBREVIATION KEY	
SINGLE FAMILY DETACHED:	
SF-S	SINGLE FAMILY - SMALL
SF-M	SINGLE FAMILY - MEDIUM
SF-L	SINGLE FAMILY - LARGE
CT-A	COTTAGE A (1-STORY)
CT-B	COTTAGE B (2-STORY)
SINGLE FAMILY ATTACHED:	
MW-A	NEWS A
MW-C	NEWS C
MW-E/TE	NEWS E
TE	TREEHOUSE
TH1-A	2-STORY TOWNHOUSE A
TH1-B	2-STORY TOWNHOUSE B
TH2-A	3-STORY TOWNHOUSE A
TH2-B	3-STORY TOWNHOUSE B
DU	DUPLEX SIDE-BY-SIDE
TR	TRIPLEX SIDE-BY-SIDE
OTHER:	
G	CARAGE
D	DUMPSTER
LOWER MISSING-MIDDLE HOUSING:	
CH	CARRIAGE HOUSE
FR	FOURPLEX
FV	FIVEPLEX
MS	MANSON - SMALL
ML	MANSON - LARGE
UPPER MISSING-MIDDLE HOUSING:	
CY	COURTYARD BUILDING
MP-A	MULTIPLEX SMALL
MP-B	MULTIPLEX MEDIUM
MIXED-USE / COMMERCIAL:	
LW1	LIVE/WORK 2-STORY
LW2	LIVE/WORK 3-STORY
MU	MIXED USE BUILDING
C	COMMERCIAL



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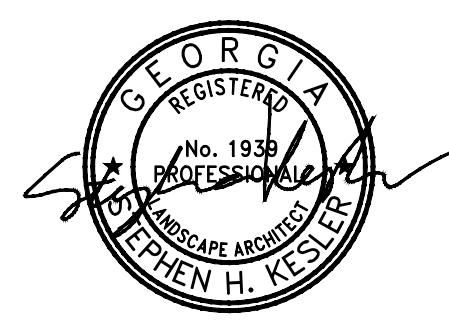
90.22 ACRES

REVISIONS	
DATE	COMMENT

FOR REVIEW ONLY

INITIAL SUB. DATE: 6/28/24

ISSUANCE DATE: 10/04/24



W&A PROJECT #: 230161

PD MASTER
PLAN (5)

CP06

PROPOSED TREES & LARGE SHRUBS				
QTY	COMMON NAME	PERCENT OF CANOPY	CANOPY SIZE CATEGORY	TOTAL SF OF CANOPY
308	A-CC LARGE TREE	37.65	LARGE	1,600
426	A-CC MEDIUM TREE	52.08	MEDIUM	900
84	A-CC SMALL TREE	10.27	SMALL	400
818		100.00	TOTAL	800,400

EXISTING CONSERVED CANOPY	
CONSERVED CANOPY AREA	TOTAL SF OF CANOPY
CONSERVED CANOPY AREA #1	8,108
CONSERVED CANOPY AREA #2	17,013
CONSERVED CANOPY AREA #3	9,705
CONSERVED CANOPY AREA #4	7,298
CONSERVED CANOPY AREA #5	19,853
CONSERVED CANOPY AREA #6	158,220
CONSERVED CANOPY AREA #7	128,661
CONSERVED CANOPY AREA #8	484,600
CONSERVED CANOPY AREA #9	48,170
CONSERVED CANOPY AREA #10	103,451
TOTAL CONSERVED CANOPY AREA:	985,079

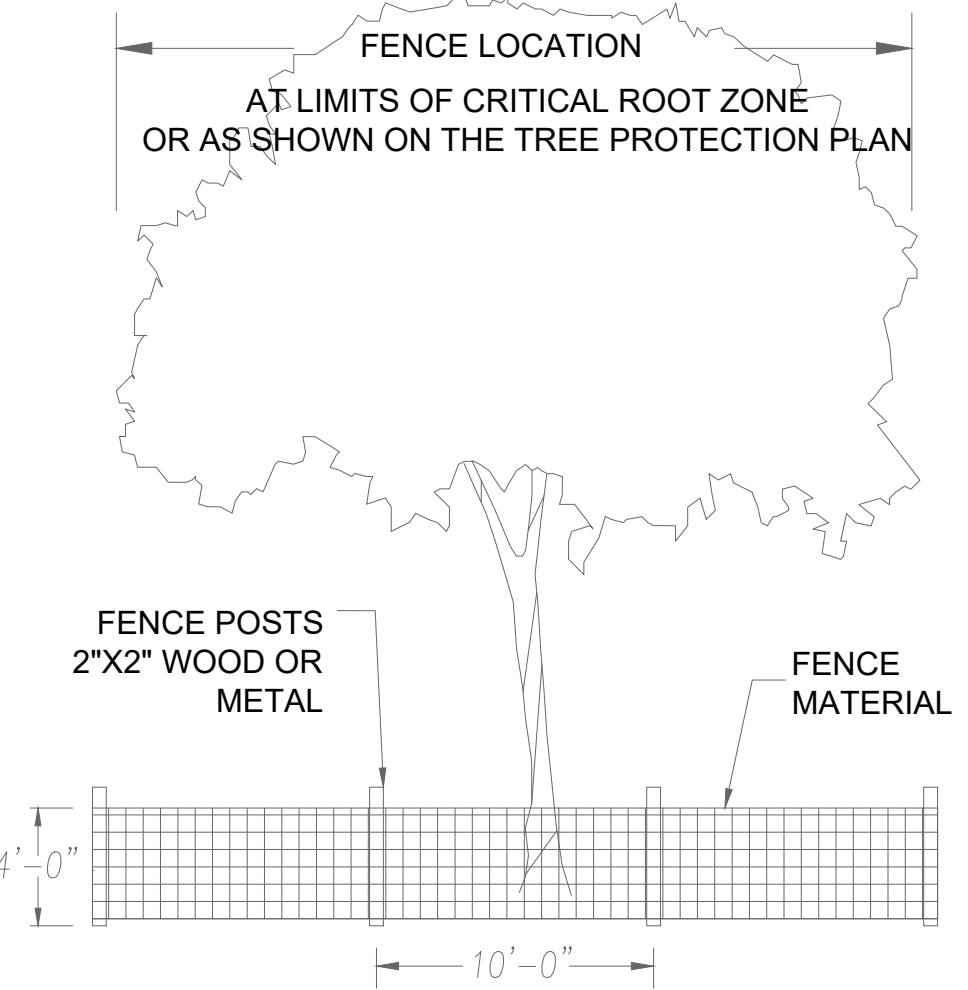
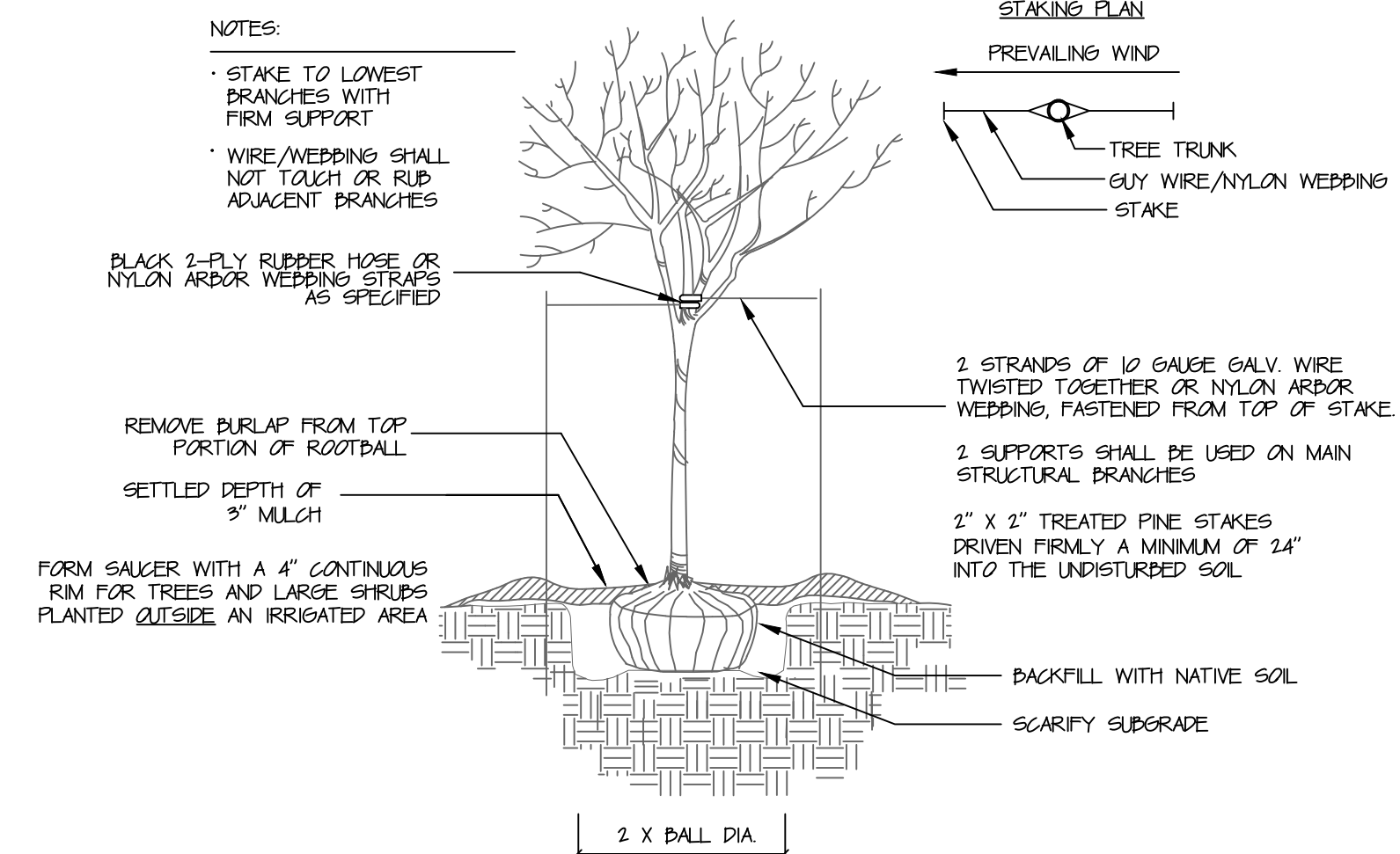
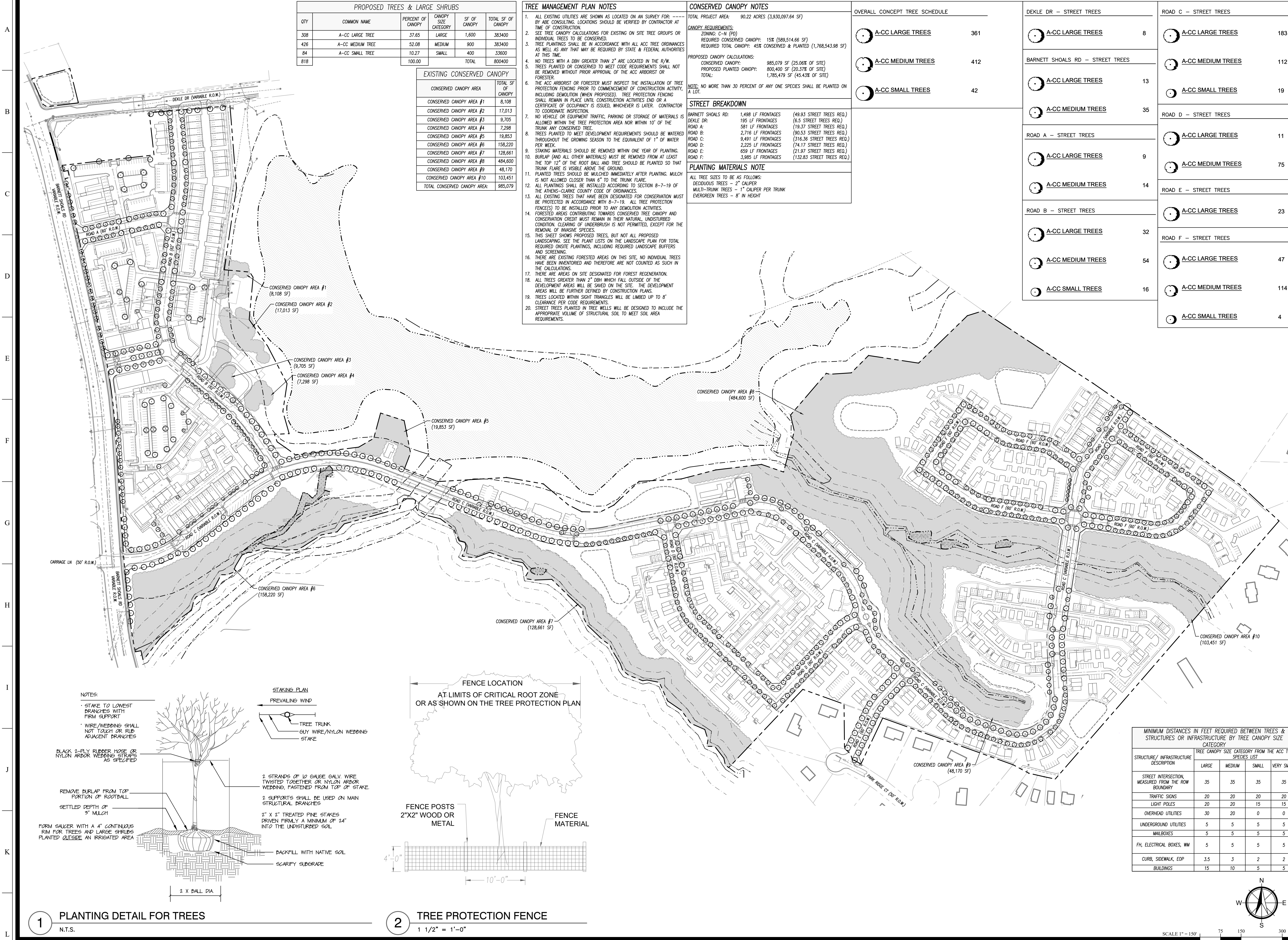
- TREE MANAGEMENT PLAN NOTES**
- ALL EXISTING UTILITIES ARE SHOWN AS LOCATED ON A SURVEY FOR: BY ABE CONSULTING. LOCATIONS SHOULD BE VERIFIED BY CONTRACTOR AT TIME OF CONSTRUCTION.
 - SET TREE CANOPY CALCULATIONS FOR EXISTING ON SITE TREE GROUPS OR INDIVIDUAL TREES TO BE CONSERVED.
 - TREE PLANTINGS SHALL BE IN ACCORDANCE WITH ALL ACC TREE ORDINANCES AS WELL AS ANY THAT MAY BE REQUIRED BY STATE & FEDERAL AUTHORITIES AT THIS TIME.
 - NO TREES WITH A DBH GREATER THAN 2" ARE LOCATED IN THE R/W.
 - TREES PLANTED OR CONSERVED TO MEET CODE REQUIREMENTS SHALL NOT BE REMOVED WITHOUT PRIOR APPROVAL OF THE ACC ARBORIST OR FORESTER.
 - THE ACC ARBORIST OR FORESTER MUST INSPECT THE INSTALLATION OF TREE PROTECTION FENCING PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY, INCLUDING DEMOLITION (WHEN PROPOSED). TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES END OR A CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER IS LATER. CONTRACTOR TO COORDINATE INSPECTION.
 - NO VEHICLE OR EQUIPMENT TRAFFIC, PARKING OR STORAGE OF MATERIALS IS ALLOWED WITHIN THE TREE PROTECTION AREA NOR WITHIN 10' OF THE TRUNK ANY CONSERVED TREE.
 - TREES PLANTED TO MEET DEVELOPMENT REQUIREMENTS SHOULD BE WATERED THROUGHOUT THE GROWING SEASON TO THE EQUIVALENT OF 1" OF WATER PER WEEK.
 - STAKING MATERIALS SHOULD BE REMOVED WITHIN ONE YEAR OF PLANTING.
 - BURLAP (AND ALL OTHER MATERIALS) MUST BE REMOVED FROM AT LEAST THE TOP 12" OF THE ROOT BALL AND TREE SHOULD BE PLANTED SO THAT TRUNK FLARE IS VISIBLE ABOVE THE GROUND.
 - PLANTED TREES SHOULD BE MULCHED IMMEDIATELY AFTER PLANTING. MULCH IS NOT ALLOWED CLOSER THAN 6" TO THE TRUNK FLARE.
 - ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO SECTION 8-7-19 OF THE ATHENS-CLARKE COUNTY CODE OF ORDINANCES.
 - ALL EXISTING TREES THAT HAVE BEEN DESIGNATED FOR CONSERVATION MUST BE PROTECTED IN ACCORDANCE WITH 8-7-19. ALL TREE PROTECTION FENCE(S) TO BE INSTALLED PRIOR TO ANY DEMOLITION ACTIVITIES.
 - FORESTED AREAS CONTRIBUTING TOWARDS CONSERVED TREE CANOPY AND CONSERVATION CREDIT MUST REMAIN IN THEIR NATURAL, UNDISTURBED CONDITION. CLEARING OF UNDERBRUSH IS NOT PERMITTED, EXCEPT FOR THE REMOVAL OF INVASIVE SPECIES.
 - THERE ARE EXISTING FORESTED AREAS ON THIS SITE. NO INDIVIDUAL TREES HAVE BEEN INVENTORIED AND THEREFORE ARE NOT COUNTED AS SUCH IN THE CALCULATIONS.
 - THIS SHEET SHOWS PROPOSED TREES, BUT NOT ALL PROPOSED LANDSCAPING. SEE THE PLANT LISTS ON THE LANDSCAPE PLAN FOR TOTAL REQUIRED ONSITE PLANTINGS, INCLUDING REQUIRED LANDSCAPE BUFFERS AND SCREENING.
 - TREES ARE LOCATED ON SITE DESIGNATED FOR FOREST REGENERATION.
 - TREES GREATER THAN 2" DBH WHICH FALL OUTSIDE OF THE DEVELOPMENT AREAS WILL BE SAVED ON THE SITE. THE DEVELOPMENT AREAS WILL BE FURTHER DEFINED BY CONSTRUCTION PLANS.
 - TREES LOCATED WITHIN SIGHT TRIANGLES WILL BE LIMBED UP TO 8' CLEARANCE PER CODE REQUIREMENTS.
 - STREET TREES PLANTED IN TREE WELLS WILL BE DESIGNED TO INCLUDE THE APPROPRIATE VOLUME OF STRUCTURAL SOIL TO MEET SOIL AREA REQUIREMENTS.

CONSERVED CANOPY NOTES	
TOTAL PROJECT AREA:	90.22 ACRES (3,930,097.64 SF)
CANOPY REQUIREMENTS:	
ZONING: C-N (PD)	
REQUIRED CONSERVED CANOPY:	15% (589,514.66 SF)
REQUIRED TOTAL CANOPY:	45% CONSERVED & PLANTED (1,768,543.98 SF)
PROPOSED CANOPY CALCULATIONS:	
CONSERVED CANOPY:	985,079 SF (25.06% OF SITE)
PROPOSED PLANTED CANOPY:	800,400 SF (20.37% OF SITE)
TOTAL:	1,785,479 SF (45.43% OF SITE)
NOTE: NO MORE THAN 30 PERCENT OF ANY ONE SPECIES SHALL BE PLANTED ON A LOT.	
STREET BREAKDOWN	
BARNETT SHOALS RD:	1,498 LF FRONTAGES (49.93 STREET TREES REQ.)
DEKLE DR:	195 LF FRONTAGES (6.3 STREET TREES REQ.)
ROAD A:	581 LF FRONTAGES (19.37 STREET TREES REQ.)
ROAD B:	2,716 LF FRONTAGES (90.53 STREET TREES REQ.)
ROAD C:	9,491 LF FRONTAGES (316.36 STREET TREES REQ.)
ROAD D:	2,225 LF FRONTAGES (74.17 STREET TREES REQ.)
ROAD E:	659 LF FRONTAGES (21.97 STREET TREES REQ.)
ROAD F:	3,985 LF FRONTAGES (132.83 STREET TREES REQ.)
PLANTING MATERIALS NOTE	
ALL TREE SIZES TO BE AS FOLLOWS:	
DECIDUOUS TREES - 2" CALIPER	
MULTI-TRUNK TREES - 1" CALIPER PER TRUNK	
EVERGREEN TREES - 8" IN HEIGHT	

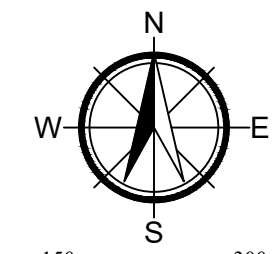
OVERALL CONCEPT TREE SCHEDULE	
A-CC LARGE TREES	361
A-CC MEDIUM TREES	412
A-CC SMALL TREES	42

DEKLE DR - STREET TREES	
A-CC LARGE TREES	8
BARNETT SHOALS RD - STREET TREES	
A-CC LARGE TREES	13
A-CC MEDIUM TREES	35
ROAD A - STREET TREES	
A-CC LARGE TREES	9
A-CC MEDIUM TREES	14
ROAD B - STREET TREES	
A-CC LARGE TREES	32
A-CC MEDIUM TREES	54
A-CC SMALL TREES	16

ROAD C - STREET TREES	
A-CC LARGE TREES	183
A-CC MEDIUM TREES	112
A-CC SMALL TREES	19
ROAD D - STREET TREES	
A-CC LARGE TREES	11
A-CC MEDIUM TREES	75
ROAD E - STREET TREES	
A-CC LARGE TREES	23
ROAD F - STREET TREES	
A-CC LARGE TREES	47
A-CC MEDIUM TREES	114
A-CC SMALL TREES	4



MINIMUM DISTANCES IN FEET REQUIRED BETWEEN TREES & STRUCTURES OR INFRASTRUCTURE BY TREE CANOPY SIZE CATEGORY				
STRUCTURE/ INFRASTRUCTURE DESCRIPTION	LARGE	MEDIUM	SMALL	VERY SMALL
STREET INTERSECTION, MEASURED FROM THE ROW BOUNDARY	35	35	35	35
TRAFFIC SIGNS	20	20	20	20
LIGHT POLES	20	20	15	15
OVERHEAD UTILITIES	30	20	0	0
UNDERGROUND UTILITIES	5	5	5	5
MALBOXES	5	5	5	5
FH, ELECTRICAL BOXES, WM	5	5	5	5
CURB, SIDEWALK, EOP	3.5	3	2	2
BUILDINGS	15	10	5	5



SCALE 1" = 150'

1 PLANTING DETAIL FOR TREES
N.T.S.

2 TREE PROTECTION FENCE
1 1/2" = 1'-0"



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Know what's below.
Call before you dig.

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PD TREE
MANAGEMENT PLAN

L201