

# Teddy's Market

Athens, GA

## Master Planned Development

10/04/24

### Sheet Index

Sheet Number	Sheet Title
C-00	Cover Sheet
C-10	Site Plan
C-11	Tree Management Plan
C-20	Utility Plan
C-30	Emergency Vehicle Access Plan

#### Project Team

**Owner**  
Bhatthal Properties, LLC  
1088 Wild Indigo Xing  
Statham, GA 30666  
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123.456.7896

**Developer**  
Karan Singh  
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404-403-8267  
Contact: ----  
----

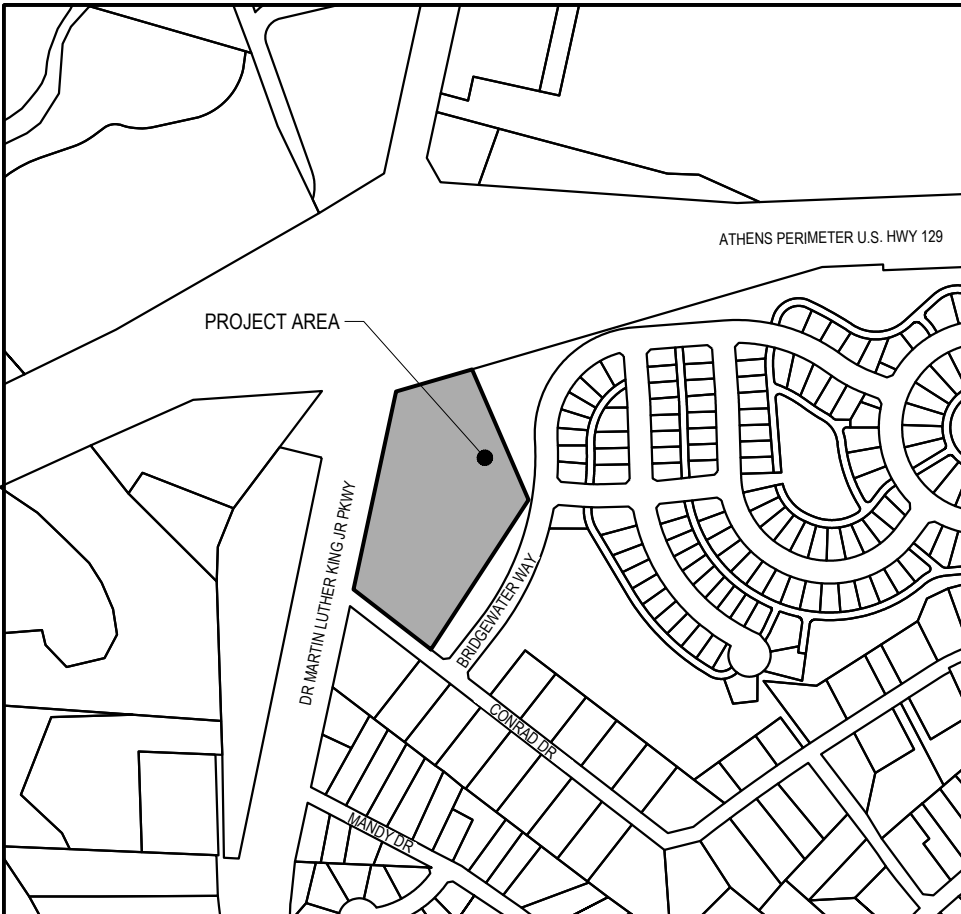
#### Contractor

TBD  
---  
---  
Contact: ---  
---  
---

**Architect**  
CityView Design Build  
1400 Indian Trail Lilburn Road  
Norcross, GA 30093  
Contact: Mustaq Moosa  
Mustaq@cityviewdb.com  
404 704 6356

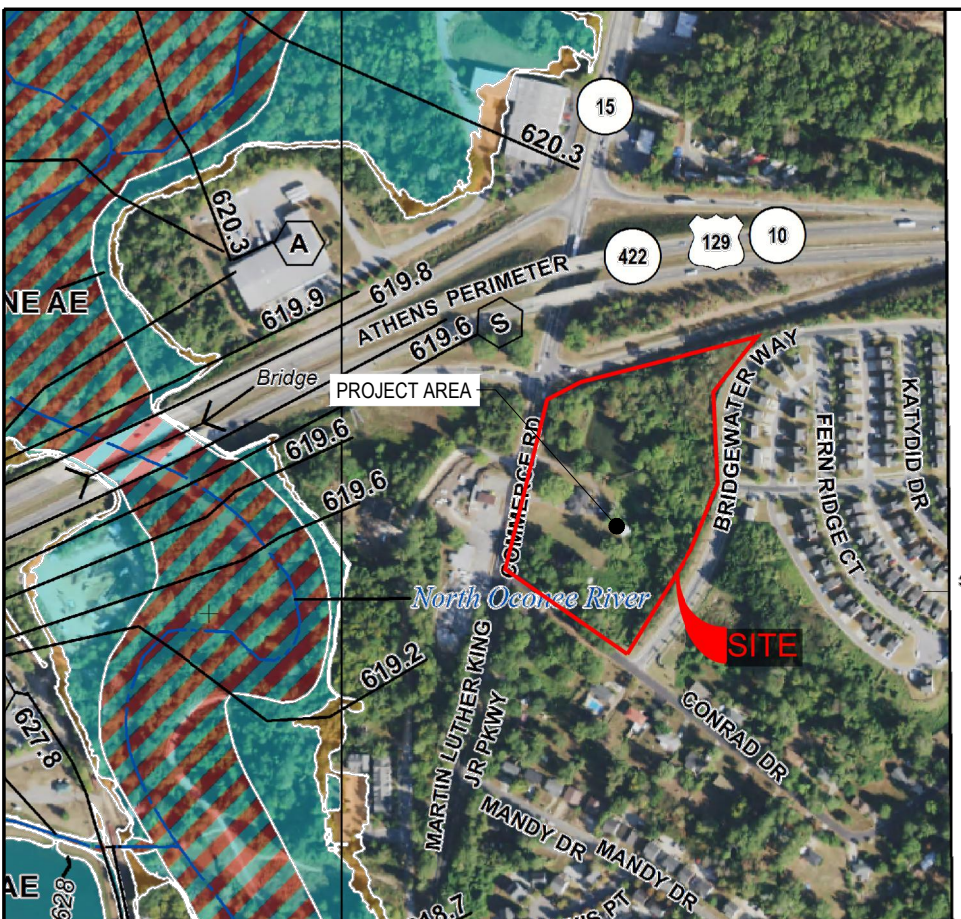
**Planner / Engineer /  
Landscape Architect**  
SPG Planners + Engineers, LLC  
1725 Electric Avenue, STE 320  
Watkinsville, GA 30677  
Contact: Ed Lane, PE  
ed@onespg.com  
706.769.9515

**Land Surveyor**  
SPG Planners + Engineers  
236 W. Franklin Street  
Hartwell, GA 30643  
Contact: Aaron Blomberg, PLS  
Aaron@onespg.com  
706.436.4585



Vicinity Map

Not to Scale



FEMA Firm Map - Panel #13059C0015E

Not to Scale

#### Project Data

**Project Description**  
The nature of development includes the development of townhomes and a gas station. The area of development is currently improved and will require demolition. This residential and commercial development will require infrastructure, such as storm drain structures and piping, curbing, stormwater detention basin, waterlines, and sanitary sewer lines.

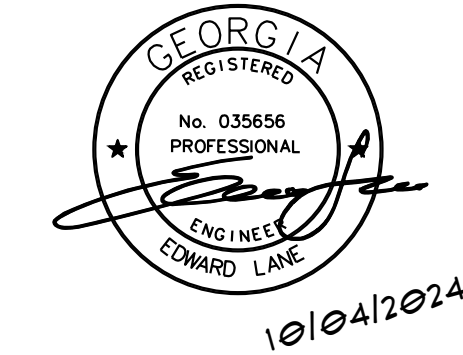
**Project Address / Parcel**  
Parcel(s) 163B1 B001  
1140 Dr. Martin Luther King Jr Pkwy  
Athens, GA

**Project Current Zoning**  
RS-8

**Project Proposed Zoning**  
PD (C-G & RM-1)

**Total Project Area (Parcel)**  
5.19 AC

**Project Land Use**  
General Business & Traditional  
Neighborhood



Project Info:

#### Teddy's Market

1140 Dr. Martin Luther King Jr Pkwy  
Athens, GA  
Clarke County

Sheet Issue: 10/04/24 Project No. 24-3455

Firm Info:



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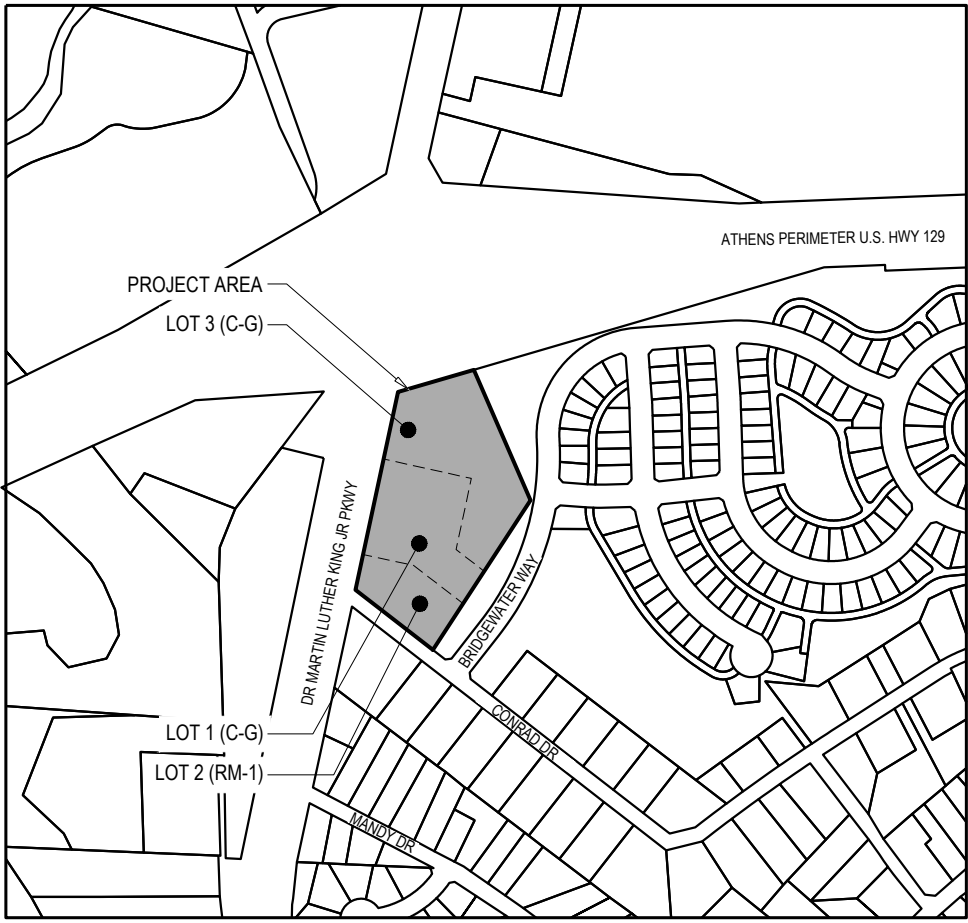
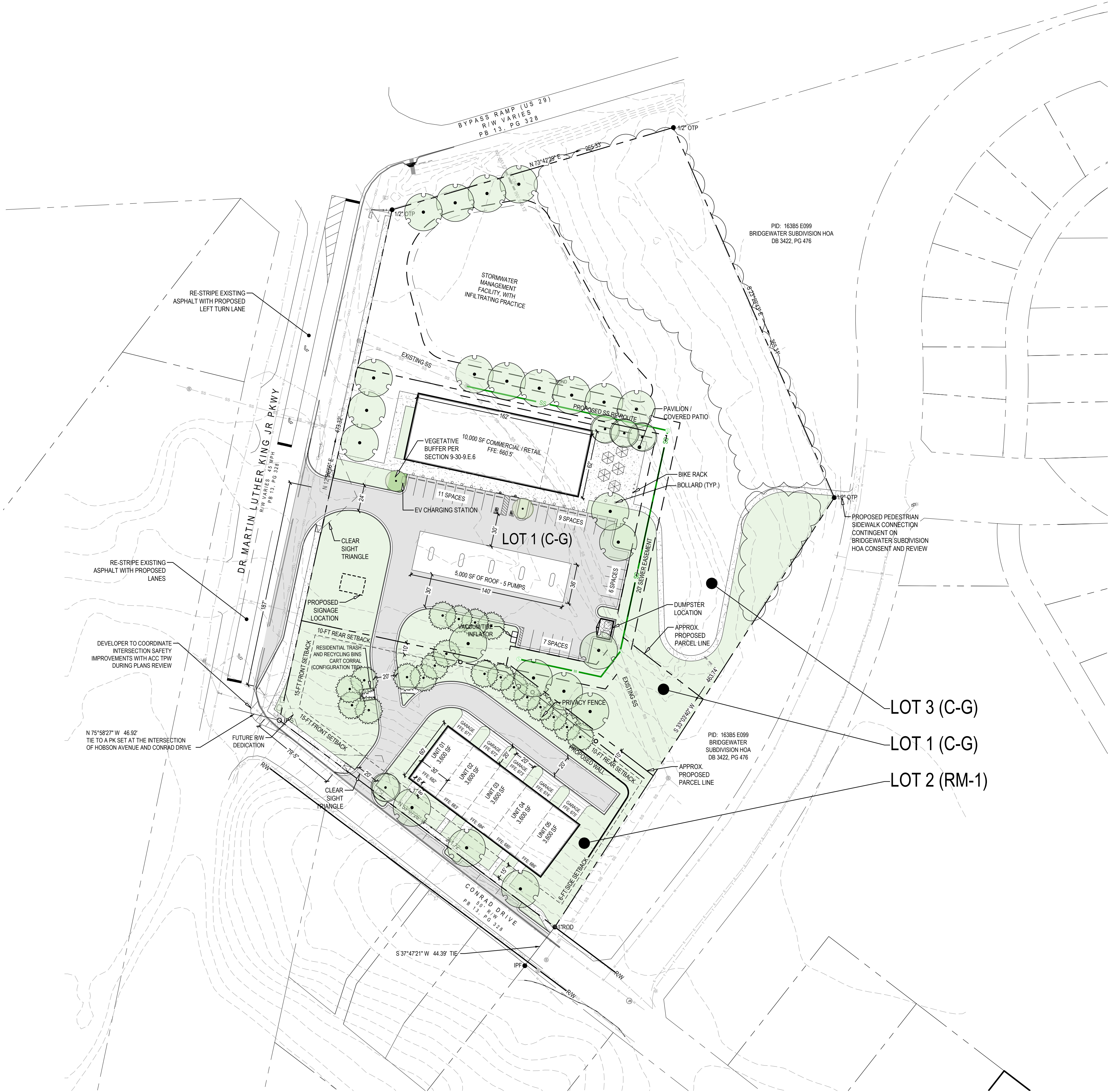
Sheet Title:

Cover Sheet

# C-00



Location: S:\1 Projects\Singh, Karan - 1140 MLK Pkwy 2024-34455-03-Schematic & Design Development\01-CAD Creation date: Tuesday, September 24, 2024 10:24:54 AM  
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Vicinity Map  
Not to Scale

**OWNER**  
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STATHAM, GA 30666  
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123.456.7896

**PLANNER/ENGINEER**  
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1725 ELECTRIC AVENUE, STE 320  
WATKINSVILLE, GA 30677  
CONTACT: ED. LANE, PE  
ed@onespg.com  
706.769.9515

PROJECT INFORMATION	
ADDRESS	1140 DR. MARTIN LUTHER KING JR PKWY
PARCEL NUMBER	163B1 8001
ACREAGE	5.19 AC
EXISTING ZONING	RS-8
PROPOSED ZONING	PD (C-G & RM-1)
EXISTING USE	TRADITIONAL NEIGHBORHOOD
PROPOSED USE	GENERAL BUSINESS & TRADITIONAL NEIGHBORHOOD
FEMA FLOOD	NO PORTION OF THIS SITE LIES WITHIN A FLOOD PLAIN ACCORDING TO FIRM MAP NUMBERS 13060201SE, DATED 08/15/22. THERE ARE NO ENVIRONMENTAL AREAS ON OR ADJACENT TO THIS SITE.
SIGNAGE	NO SIGNS ARE PROPOSED AT THIS TIME. <b>A SEPARATE PERMIT WILL BE FILED FOR SIGN.</b>
SURVEY INFO	BOUNDARY AND INFORMATION FOR SITE TAKEN FROM RECORD PLATS AND A SURVEY PREPARED BY SPG PLANNERS + ENGINEERS FOR TRYU DATED 05/28/2024. TOPOGRAPHIC INFORMATION FROM SURVEY.
LIGHTING	THIS PROJECT SHALL MEET ALL ATHENS-CLARKE COUNTY ORDINANCES PERTAINING TO SIGNS, SIDEWALKS, STREET LIGHTING, STREET TREES, AND SOLID WASTE COLLECTION. ALL LIGHTING FIXTURES MUST BE FULLY-SHIELDED IN ACCORDANCE WITH ATHENS-CLARKE COUNTY STANDARDS TO ENSURE DOWNWARD ILLUMINATION ONLY.
STORMWATER	STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH ATHENS-CLARKE COUNTY ORDINANCES AND REGULATIONS.
PHASING	THIS PROJECT IS TO BE CONSTRUCTED IN A SINGLE PHASE, BEGINNING UPON APPROVAL OF ALL REQUIRED PLANS AND AFTER OBTAINING ALL REQUIRED PERMITS.

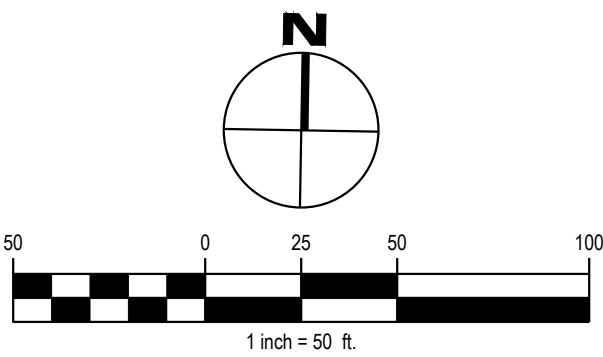
PARKING		
	REQUIRED	PROVIDED
RM-1	10	11
C-G	33	33
TOTAL	43	44

LOT DATA			
	LOT 1 (C-G)	LOT 2 (RM-1)	LOT 3 (C-G)
TOTAL ACREAGE	1.87 AC	1.10 AC	2.35 AC
BUILDING SF	15,000 SF	18,000 SF	0 AC

MAXIMUM RESIDENTIAL DENSITY	
	CALCULATIONS
MAXIMUM	16 UNITS PER ACRE
PROVIDED	5 UNITS PER ACRE

UTILITY DATA	
WATER SUPPLY	ATHENS-CLARKE COUNTY
SEWERAGE DISPOSAL	ATHENS-CLARKE COUNTY
SOLID WASTE	ATHENS-CLARKE COUNTY AND/OR PRIVATE
PROPOSED UTILITIES	--- ALL UTILITIES ARE TO BE INSTALLED UNDER GROUND. UTILITIES WILL BE CONTAINED WITHIN DEDICATED EASEMENTS.

PAVING LEGEND	
HD = HEAVY DUTY SD = STANDARD DUTY	
	HD CONCRETE PAVING
	SD CONCRETE PAVING
	VEHICULAR CONCRETE PAVING
	SD ASPHALT PAVING
REFER TO DETAILS FOR SECTION REQUIREMENTS.	



Seals:



Project Info:

**Teddy's Market**  
1140 Dr. Martin Luther King Jr Pkwy  
Athens, GA  
Clarke County

Sheet Issue: 10/04/24    Project No. 24-3455

Firm Info:



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Sheet Title:

Site Plan



Location: S:\1 Projects\Singh, Karan - 1140 MLK Pkwy 2024-34453-04-CD-V01-CAD\01-WORKING\LANDSCAPE Creation date: Friday, August 2, 2024 10:52:43 AM  
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PROPOSED TREES

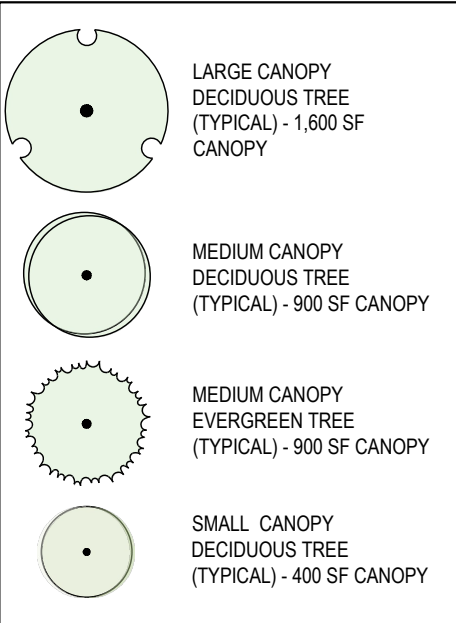
QUANTITY	TYPE	SIZE	UNIT CANOPY	TOTAL CANOPY
23	LARGE CANOPY TREE (DECIDUOUS)	2" MIN. CALIPER	1,600 SF	36,800 SF
4	MEDIUM CANOPY TREE (DECIDUOUS)	2" MIN. CALIPER	900 SF	3,600 SF
20	MEDIUM CANOPY TREE (EVERGREEN)	2" MIN. CALIPER	900 SF	18,000 SF
2	SMALL CANOPY TREE (DECIDUOUS)	2" MIN. CALIPER	400 SF	800 SF
TOTAL PLANTED CANOPY				59,200 SF

CANOPY CALCULATIONS

	REQUIRED CONSERVED	CONSERVED CANOPY	PLANTED + CONSERVED REQUIRED	PLANTED + CONSERVED PROVIDED
LOT #1 (C-G)	10% OR 8,126 SF	0% OR 0 SF	40% OR 32,507 SF	43.2% OR 35,139 SF
LOT #2 (RM-1)	35% OR 16,790 SF	0% OR 0 SF	55% OR 26,385 SF	58.4% OR 28,000 SF
LOT #3 (C-G)	10% OR 9,690 SF	38.8% OR 39,734 SF	40% OR 38,760 SF	44.6 OR 43,223 SF
PROJECT TOTAL	15.3% OR 32,043 SF	17.6% OR 39,734 SF	41.2% OR 93,623 SF	47% OR 106,362 SF

PARKING LOT TREES

REQUIRED	PROVIDED
1 PER 7 SPACES (33 SPACES) = 5 TREES	5 TREES



TREE MANAGEMENT PLAN NOTES:

- SITE INFORMATION:**  
PROPERTY LOCATION: 1140 Dr. Martin Luther King Jr Pkwy  
TAX PARCEL NUMBER: 16381 8001  
TOTAL SITE ACREAGE: 5.19 AC  
ZONING: PD (C-G & RM-1)  
EXISTING AND PROPOSED USE: Traditional Neighborhood  
General Business & Traditional Neighborhood
- THE PROPERTY IS SERVED BY Athens-Clarke County FOR WATER AND Athens-Clarke County FOR SEWER SERVICES.
  - BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY A SURVEY PREPARED BY SPG Planners + Engineers DATED 05/29/2024.

TREE MANAGEMENT STANDARDS FOR EXISTING TREES:

- PROTECTION OF EXISTING INDIVIDUAL TREES OR EXISTING FORESTED AREAS INCLUDES PROTECTION OF THE ENTIRE CRITICAL ROOT ZONES OF THESE TREES.
- NO LAND DISTURBANCE, NO PARKING OF EQUIPMENT, NO DUMPING OF ANY POLLUTANTS, NOR ANY OTHER TYPE OF DAMAGING ACTIVITIES SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF THE CONSERVED TREES.
- IN THE CASE OF FORESTED AREAS, NO TURF SHALL BE INSTALLED, NO MOWING SHALL OCCUR, AND NO UNDERBRUSH SHALL BE REMOVED EXCEPT FOR THE REMOVAL OF INVASIVE SPECIES SUCH AS KUDZU OR PRIVET.

GENERAL NOTES:

- ALL INDUSTRY STANDARDS AND GOOD PRACTICES SHALL BE FOLLOWED WHEN INSTALLING PLANT MATERIAL IN ORDER TO ENSURE OPTIMUM GROWTH AND HEALTH OF PLANTS.
- ALL PLANTED AREAS ARE TO BE MAINTAINED IN A MANNER CONSISTENT WITH THIS PLAN. PLANT MATERIAL SHALL BE APPROPRIATELY PRUNED AND WEEDS SHALL BE REMOVED. FERTILIZER SHALL BE APPLIED AS NECESSARY IN ORDER TO ENCOURAGE HEALTHY GROWTH. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR TWO YEARS, EXCEPT IN THE CASE OF ABUSE OR INSUFFICIENT MAINTENANCE. ANY DEAD OR DISEASED PLANT MATERIAL SHALL BE REPLACED IN A TIMELY MANNER.
- TREES SHALL NOT BE PLANTED CLOSER THAN 30-FT FROM STREET INTERSECTIONS (MEASURED FROM THE RIGHT-OF-WAY BOUNDARY). TREES SHALL NOT BE PLANTED CLOSER THAN 20-FT FROM TRAFFIC SIGNS, TREES SHALL NOT BE PLANTED CLOSER THAN 20-FT FROM LIGHT POLES. TREES SHALL NOT BE PLANTED CLOSER THAN 30-FT FROM OVERHEAD UTILITY LINES AND 5-FT FROM UNDERGROUND UTILITY LINES. TREES SHALL NOT BE PLANTED CLOSER THAN 5-FT FROM HYDRANTS, ELECTRICAL TRANSMISSION BOXES, OR WATER METERS. TREES SHALL NOT BE PLANTED CLOSER THAN 2-FT FROM ANY CURB, SIDEWALK, OR PAVEMENT EDGE. MEDIUM CANOPY TREES SHALL NOT BE PLANTED CLOSER THAN 10-FT FROM BUILDINGS. LARGE CANOPY TREES NOT CLOSER THAN 15-FT. TREES, AS THEY GROW, SHALL BE PRUNED TO PROVIDE 9-FT OF CLEARANCE ABOVE SIDEWALKS, AND 12-FT OF CLEARANCE ABOVE ROADWAYS. SHRUBS SHALL NOT BE PLANTED CLOSER THAN 2.5-FT FROM TREE TRUNKS.

ATHENS-CLARKE COUNTY TREE MANAGEMENT PLAN NOTES:

- TREES PLANTED OR CONSERVED TO SATISFY REQUIREMENTS OF THE ACC COMMUNITY TREE ORDINANCE SHALL NOT BE REMOVED WITHOUT PRIOR APPROVAL OF THE PLANNING DIRECTOR.
- TREES PLANTED TO MEET DEVELOPMENT REQUIREMENTS SHOULD BE WATERED THROUGHOUT THE GROWING SEASON TO THE EQUIVALENT OF 1-IN OF WATER PER WEEK.
- STAKING MATERIALS SHOULD BE REMOVED WITHIN ONE YEAR OF PLANTING.
- BURLAP (AND ALL OTHER MATERIALS) MUST BE REMOVED FROM AT LEAST THE TOP 12-IN OF THE ROOT BALL AND TREES SHOULD BE PLANTED SO THAT TRUNK FLARE IS VISIBLE ABOVE THE GROUND.
- PLANTED TREES SHOULD BE MULCHED IMMEDIATELY AFTER PLANTING. MULCH IS NOT ALLOWED CLOSER THAN 6-IN TO THE TRUNK FLARE.
- THE ACC ARBORIST OR COMMUNITY TREE FORESTER MUST INSPECT INSTALLATION OF TREE PROTECTION FENCING PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES END OR A CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER IS LATER. NO VEHICLE OR EQUIPMENT TRAFFIC, PARKING, OR STORAGE OF MATERIALS IS ALLOWED WITHIN THE TREE PROTECTION AREA.
- PRIOR TO ANY LAND DEVELOPMENT OR LAND DISTURBANCE ACTIVITY AND AFTER TREE PROTECTION FENCING IS INSTALLED AROUND ANY CONSERVED TREES OR TREE CONSERVATION AREA, TREE PROTECTION AREA SIGNS SHALL BE INSTALLED. SIGNS SHALL BE INSTALLED ALONG THE PERIMETER OF ALL TREE PROTECTION ZONES AT LEAST EVERY 50-FT AND SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING TEXT: "TREE PROTECTION AREA. ENTRY PROHIBITED. NO CONSTRUCTION ACTIVITY, MATERIALS OR EQUIPMENT STORAGE, EQUIPMENT WASHOUT, OR VEHICLE TRAFFIC ALLOWED". THE SIGN SHALL BE FABRICATED OUT OF A STURDY MATERIAL, SHALL BE AT LEAST 18-IN WIDE BY 24-IN HIGH, AND SHALL BE PLACED ON A STURDY POST WITH THE BOTTOM OF THE SIGN AT A MINIMUM HEIGHT OF 30-IN ABOVE THE GROUND. THE SIGNS MUST REMAIN PRESENT AT ALL TIMES DURING CONSTRUCTION.

NO STRUCTURES OR TREES TO BE PROPOSED WITHIN EXISTING AND/OR PROPOSED UTILITY EASEMENTS.

NO TREES IN EASEMENTS OR WITHIN 5' OF WATER OR SANITARY SEWER SERVICES.

MINIMUM DISTANCES IN FEET REQUIRED BETWEEN TREES AND STRUCTURES OR INFRASTRUCTURE BY TREE CANOPY SIZE CATEGORY

STRUCTURE / INFRASTRUCTURE DESCRIPTION	TREE CANOPY SIZE CATEGORY FROM THE ACC TREE SPECIES LIST			
	LARGE	MEDIUM	SMALL	VERY SMALL
STREET INTERSECTION, MEASURED FROM THE R.O.W. BOUNDARY	35	35	35	35
TRAFFIC SIGNS	20	20	20	20
LIGHT POLES	20	20	15	15
OVERHEAD UTILITIES	30	20	0	0
UNDERGROUND UTILITIES	5	5	5	5
MAILBOXES	5	5	5	5
FM ELECTRICAL BOXES, VM	5	5	5	5
CURB, SIDEWALK, EOP	3.5	3	2	2
BUILDINGS	15	10	5	5

Seals:



Project Info:

**Teddy's Market**  
1140 Dr. Martin Luther King Jr Pkwy  
Athens, GA  
Clarke County

Sheet Issue: 10/04/24 Project No. 24-3455

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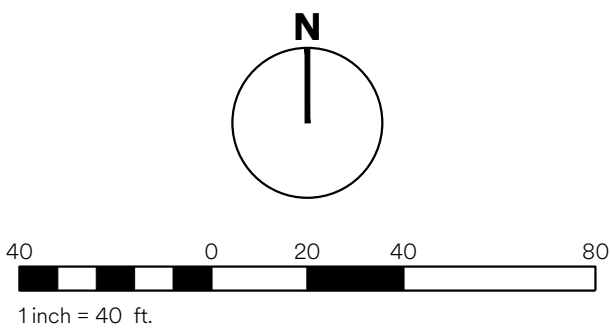
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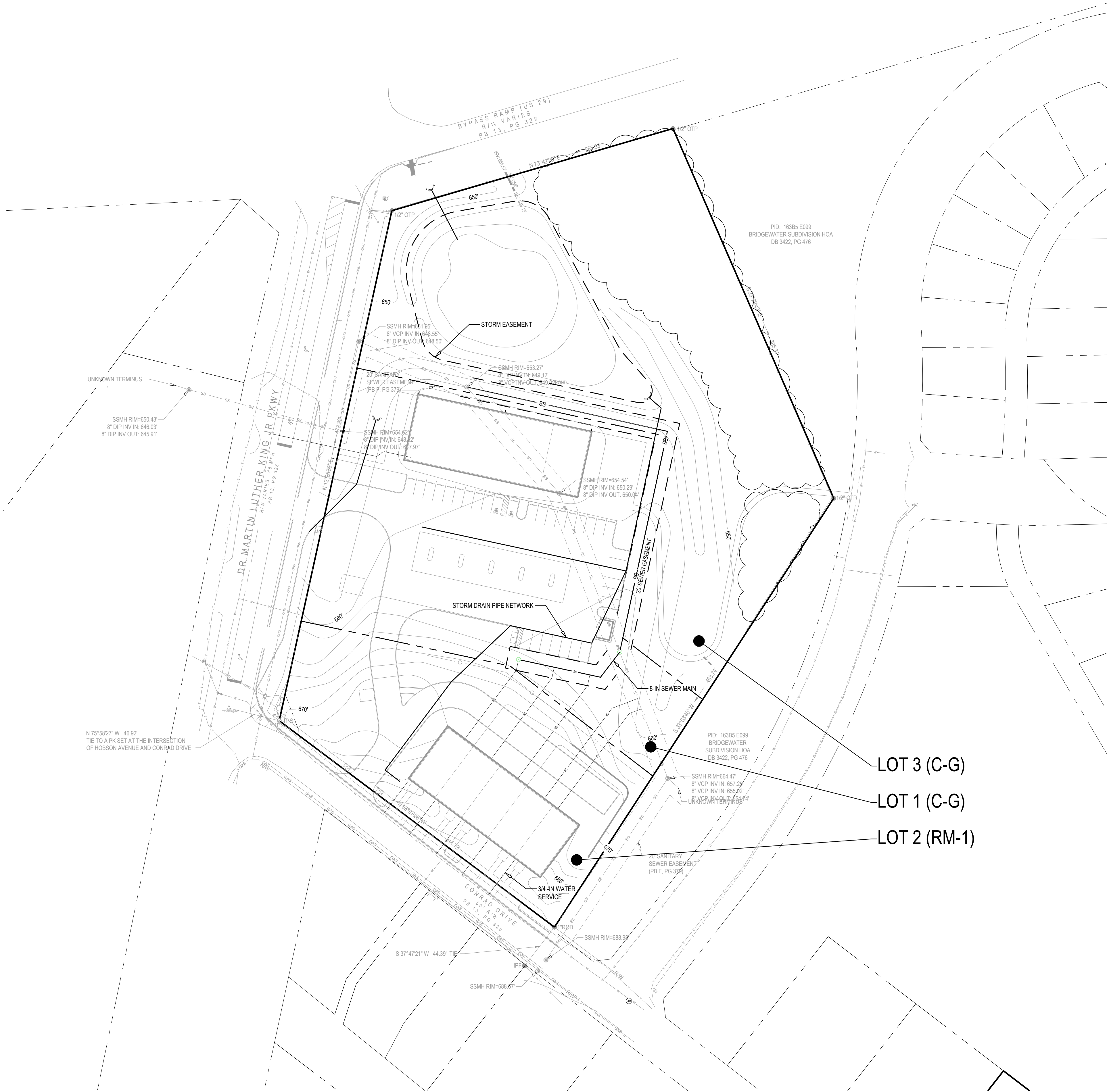
Sheet Title:

Tree Management Plan





Location: S\1 Projects\Singh, Karan - 1140 MLK Pkwy 2024-34455.03 Schematic & Design Development\01-CAD Creation date: Tuesday, September 24, 2024 10:24:54 AM  
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**OWNER**  
DELUXETON DEVELOPMENT LLC  
1 RAVINIA PKWY NE, SUITE 2100  
DUNWOODY, GA 30346  
CONTACT: ERIC XUE  
ERICXUE@DEZHUUS.COM  
404-731-8732

PROJECT INFORMATION	
ADDRESS	WHITE HILL SCHOOL ROAD
PARCEL NUMBER	023 006
ACREAGE	91.888 AC
EXISTING ZONING	C2 (5.631 AC ±) AND R1 (86.257 AC ±)
PROPOSED ZONING	C2 (5.631 AC ±) AND R2 (86.257 AC ±)
EXISTING USE	RESIDENTIAL
PROPOSED USE	RESIDENTIAL
FEMA FLOOD	NO PORTION OF THIS SITE LIES WITHIN A FLOOD PLAIN ACCORDING TO FIRM MAP NUMBERS 13059C0015E, DATED 09/15/22. THERE ARE NO ENVIRONMENTAL AREAS ON OR ADJACENT TO THIS SITE.
SIGNAGE	NO SIGNS ARE PROPOSED AT THIS TIME. <b>A SEPARATE PERMIT WILL BE FILED FOR SIGN.</b>
SURVEY INFO	BOUNDARY AND INFORMATION FOR SITE TAKEN FROM RECORD PLATS AND A SURVEY PREPARED BY SPG PLANNERS + ENGINEERS FOR TRYU DATED 05/29/2024. TOPOGRAPHIC INFORMATION FROM SURVEY.
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Seals:



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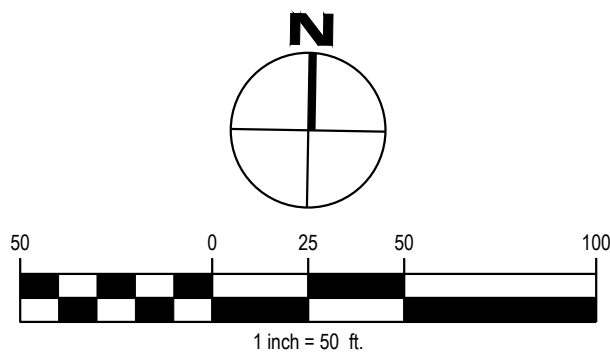
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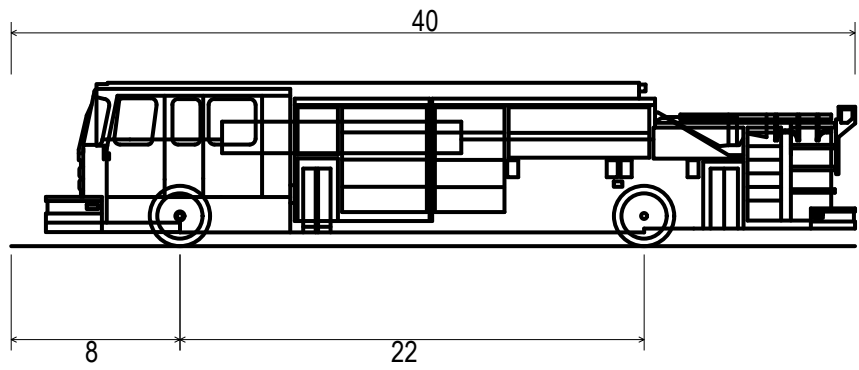
Utility Plan



**C-20**



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Pumper Fire Truck  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Max Wheel Angle

40.000ft  
8.167ft  
7.745ft  
0.656ft  
8.167ft  
5.00s  
45.00°

Seals:



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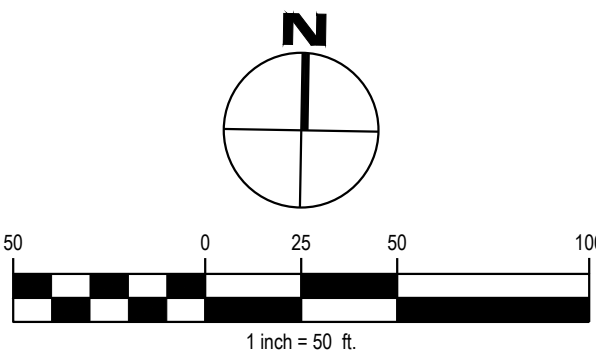
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Sheet Title:

**Emergency Vehicle Access  
Plan**



**C-30**