



Project Info:
Teddy's Market
1140 Dr. Martin Luther King Jr Pkwy
Athens, GA
Clarke County

Sheet Issue: 10/04/24 Project No. 24-3455

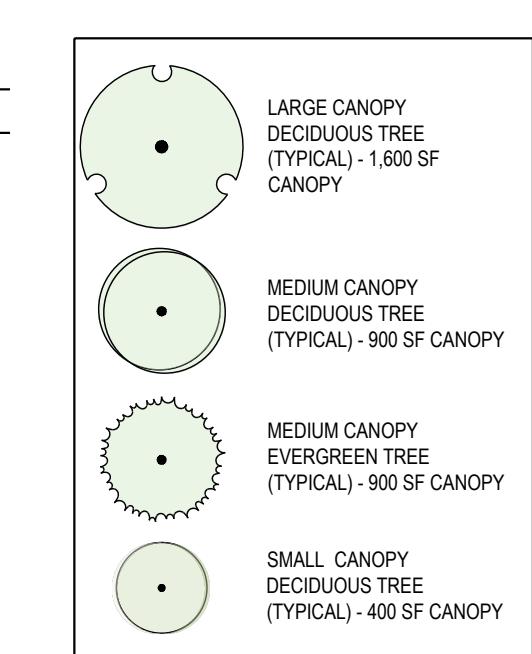
Firm Info:
Planners + Engineers
SPG Planners + Engineers
1725 Electric Avenue, STE 320
Watkinsville, GA 30677
706.769.9515
www.onespg.com

Sheet Title:
Tree Management Plan



PROPOSED TREES				
QUANTITY	TYPE	SIZE	UNIT CANOPY	TOTAL CANOPY
23	LARGE CANOPY TREE (DECIDUOUS)	2" MIN. CALIPER	1,600 SF	36,800 SF
4	MEDIUM CANOPY TREE (DECIDUOUS)	2" MIN. CALIPER	900 SF	3,600 SF
20	MEDIUM CANOPY TREE (EVERGREEN)	2" MIN. CALIPER	900 SF	18,000 SF
2	SMALL CANOPY TREE (DECIDUOUS)	2" MIN. CALIPER	400 SF	800 SF
TOTAL PLANTED CANOPY				59,200 SF

CANOPY CALCULATIONS				
	REQUIRED	CONSERVED	PLANTED + CONSERVED REQUIRED	PLANTED + CONSERVED PROVIDED
LOT #1 (C-G)	10% OR 8,126 SF	0% OR 0 SF	40% OR 32,507 SF	43.2% OR 35,139 SF
LOT #2 (RM-1)	35% OR 16,790 SF	0% OR 0 SF	55% OR 26,385 SF	58.4% OR 28,000 SF
LOT #3 (C-G)	10% OR 9,690 SF	38.8% OR 39,734 SF	40% OR 38,760 SF	44.6% OR 43,223 SF
PROJECT TOTAL	15.3% OR 32,043 SF	17.6% OR 39,734 SF	41.2% OR 93,623 SF	47% OR 106,362 SF



TREE MANAGEMENT PLAN NOTES:

SITE INFORMATION:
PROPERTY LOCATION: 1140 Dr. Martin Luther King Jr Pkwy
TAX PARCEL NUMBER: 16381 B001
TOTAL SITE ACREAGE: 5.19 AC
ZONING: PD (C-G & RM-1)
EXISTING USE: Traditional Neighborhood
PROPOSED USE: General Business & Traditional Neighborhood

1. THE PROPERTY IS SERVED BY Athens-Clarke County FOR WATER AND Athens-Clarke County FOR SEWER SERVICES.

2. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY A SURVEY PREPARED BY SPG Planners + Engineers DATED 05/29/2024

TREE MANAGEMENT STANDARDS FOR EXISTING TREES:

1. PROTECTION OF EXISTING INDIVIDUAL TREES OR EXISTING FORESTED AREAS INCLUDES PROTECTION OF THE ENTIRE CRITICAL ROOT ZONES OF THESE TREES.

2. NO LAND DISTURBANCE, NO PARKING OF EQUIPMENT, NO DUMPING OF ANY POLLUTANTS, NOR ANY OTHER TYPE OF DAMAGING ACTIVITIES SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF THE CONSERVED TREES.

3. IN THE CASE OF FORESTED AREAS, NO TURF SHALL BE INSTALLED. NO MOWING SHALL OCCUR, AND NO UNDERBRUSH SHALL BE REMOVED EXCEPT FOR THE REMOVAL OF INVASIVE SPECIES SUCH AS KUDZU OR PRIVET.

GENERAL NOTES:

1. ALL INDUSTRY STANDARDS AND GOOD PRACTICES SHALL BE FOLLOWED WHEN INSTALLING PLANT MATERIAL IN ORDER TO ENSURE OPTIMUM GROWTH AND HEALTH OF PLANTS.

2. ALL PLANTED AREAS ARE TO BE MAINTAINED IN A MANNER CONSISTENT WITH THIS PLAN. PLANT MATERIAL SHALL BE APPROPRIATELY PRUNED AND WEEDS SHALL BE REMOVED. FERTILIZER SHALL BE APPLIED AS NECESSARY IN ORDER TO ENCOURAGE HEALTHY GROWTH. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR TWO YEARS, EXCEPT IN THE CASE OF ABUSE OR INSUFFICIENT MAINTENANCE. ANY DEAD OR DISEASED PLANT MATERIAL SHALL BE REPLACED IN A TIMELY MANNER.

3. TREES SHALL NOT BE PLANTED CLOSER THAN 25-FT FROM STREET INTERSECTIONS MEASURED FROM THE RIGHT-OF-WAY BOUNDARY. TREES SHALL NOT BE PLANTED CLOSER THAN 20-FT FROM TRAFFIC SIGNS. TREES SHALL NOT BE PLANTED CLOSER THAN 30-FT FROM LIGHT POLES. TREES SHALL NOT BE PLANTED CLOSER THAN 30-FT FROM OVERHEAD UTILITY LINES AND 5-FT FROM UNDERGROUND UTILITY LINES. TREES SHALL NOT BE PLANTED CLOSER THAN 5-FT FROM HYDRANTS, ELECTRICAL TRANSFORMERS, AND OTHER UTILITIES. TREES SHALL NOT BE PLANTED CLOSER THAN 2-FT FROM ANY CURB, SIDEWALK, OR PAVEMENT EDGE. MEDIUM CANOPY TREES SHALL NOT BE PLANTED CLOSER THAN 10-FT FROM BUILDINGS. LARGE CANOPY TREES NOT CLOSER THAN 15-FT. TREES, AS THEY GROW, SHALL BE PRUNED TO PROVIDE 9-FT OF CLEARANCE ABOVE SIDEWALKS. 12-FT OF CLEARANCE ABOVE ROADWAYS. SHRUBS SHALL NOT BE PLANTED CLOSER THAN 2.5-FT FROM TREE TRUNKS.

ATHENS-CLARKE COUNTY TREE MANAGEMENT PLAN NOTES:

1. TREES PLANTED OR CONSERVED TO SATISFY REQUIREMENTS OF THE ACC COMMUNITY TREE ORDINANCE SHALL NOT BE REMOVED WITHOUT PRIOR APPROVAL OF THE PLANNING DIRECTOR.

2. TREES PLANTED TO MEET DEVELOPMENT REQUIREMENTS SHOULD BE WATERED THROUGHOUT THE GROWING SEASON TO THE EQUIVALENT OF 1-IN. OF WATER PER WEEK.

3. STAKING MATERIALS SHOULD BE REMOVED WITHIN ONE YEAR OF PLANTING.

4. BURLAP (AND ALL OTHER MATERIALS) MUST BE REMOVED FROM AT LEAST THE TOP 12-IN. OF THE ROOT BALL AND TREES SHOULD BE PLANTED SO THAT TRUNK FLARE IS VISIBLE ABOVE THE GROUND.

5. PLANTED TREES SHOULD BE MULCHED IMMEDIATELY AFTER PLANTING. MULCH IS NOT ALLOWED CLOSER THAN 6-IN. TO THE TRUNK FLARE.

6. THE ACC ARBORIST OR COMMUNITY TREE FORESTER MUST INSPECT INSTALLATION OF TREE PROTECTION FENCING PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. TREE PROTECTION FENCING IS REQUIRED UNTIL CONSTRUCTION ACTIVITIES AND OR A CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER IS LATER. NO VEHICULAR OR EQUIPMENT TRAFFIC, PARKING, OR STORAGE OF MATERIALS IS ALLOWED WITHIN THE TREE PROTECTION AREA.

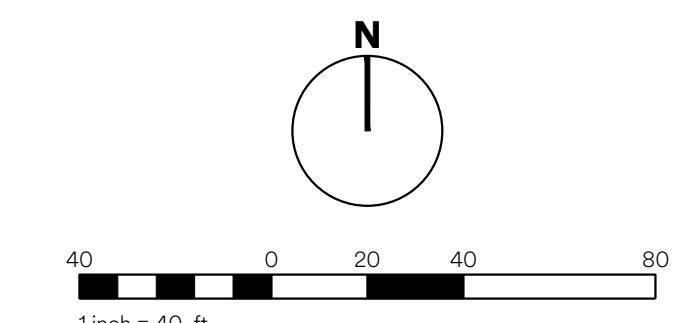
7. PRIOR TO ANY LAND DEVELOPMENT OR LAND DISTURBANCE ACTIVITY AND AFTER TREE PROTECTION FENCING IS INSTALLED AROUND ANY CONSERVED TREES OR THEIR CONSERVATION AREA, TREE PROTECTION AREA SIGNS SHALL BE INSTALLED ALONG THE PERIMETER OF ALL TREE PROTECTION ZONES AT LEAST EVERY 50-FT AND SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING TEXT: "TREE PROTECTION AREA, ENTRY PROHIBITED, NO CONSTRUCTION ACTIVITY, MATERIALS OR EQUIPMENT STORAGE, EQUIPMENT WASHOUT, OR VEHICLE TRAFFIC ALLOWED". THE SIGN SHALL BE FABRICATED OUT OF A STURDY MATERIAL, SHALL BE AT LEAST 18-IN. IN WIDTH BY 24-IN. HIGH, AND SHALL BE PLACED ON A STURDY POST WITH THE BOTTOM OF THE SIGN AT A MINIMUM HEIGHT OF 30-IN. ABOVE THE GROUND. THE SIGNS MUST REMAIN PRESENT AT ALL TIMES DURING CONSTRUCTION.

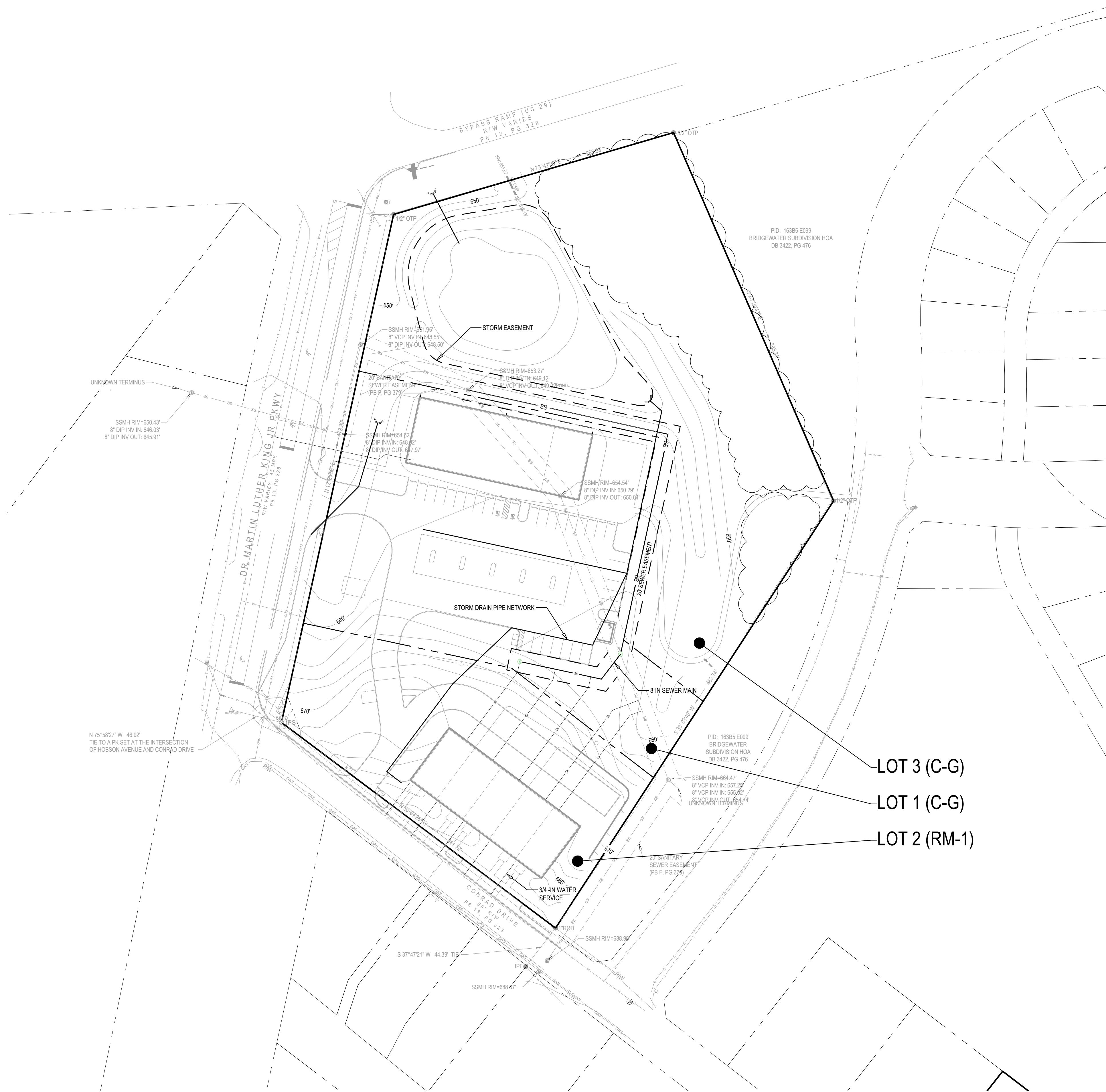
NO STRUCTURES OR TREES TO BE PROPOSED WITHIN EXISTING AND/OR PROPOSED UTILITY EASEMENTS.

NO TREES IN EASEMENTS OR WITHIN 5' OF WATER OR SANITARY SEWER SERVICES.

MINIMUM DISTANCES IN FEET REQUIRED BETWEEN TREES AND STRUCTURES OR INFRASTRUCTURE BY TREE CANOPY SIZE CATEGORY

STRUCTURE / INFRASTRUCTURE DESCRIPTION	TREE CANOPY SIZE CATEGORY FROM THE ACC TREE SPECIES LIST			
	LARGE	MEDIUM	SMALL	VERY SMALL
STREET INTERSECTION, MEASURED FROM THE R.O.W. BOUNDARY	35	35	35	35
TRAFFIC SIGNS	20	20	20	20
LIGHT POLES	20	20	15	15
OVERHEAD UTILITIES	30	20	0	0
UNDERGROUND UTILITIES	5	5	5	5
MAILBOXES	5	5	5	5
FH. ELECTRICAL BOXES, WM	5	5	5	5
CURB, SIDEWALK, EOP	35	3	2	2
BUILDINGS	15	10	5	5





OWNER DELUXETON DEVELOPMENT LLC 1 RAVINIA PKWY NE, SUITE 2100 DUNWOODY, GA 30346 CONTACT: ERIC XUE ERICXUE@DEZHUUS.COM 404-731-8732	PROJ <hr/> ADDRESS <hr/> PARCEL NU <hr/> ACREAGE <hr/> EXISTING ZONING
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PROJECT INFORMATION	
PROJECT NUMBER	WHITE HILL SCHOOL ROAD
PROJECT NUMBER	023 006
PROJECT NUMBER	91.888 AC
PROJECT NUMBER	C2 (5.631 AC ±) AND R1 (86.257 AC ±)
PROJECT NUMBER	C2 (5.631 AC ±) AND R2 (86.257 AC ±)
PROPERTY USE	RESIDENTIAL
PROPERTY USE	RESIDENTIAL
ENVIRONMENTAL	NO PORTION OF THIS SITE LIES WITHIN A FLOOD PLAIN ACCORDING TO FIRM MAP NUMBERS 13059C0015E, DATED 09/15/22. THERE ARE NO ENVIRONMENTAL AREAS ON OR ADJACENT TO THIS SITE.
ENVIRONMENTAL	NO SIGNS ARE PROPOSED AT THIS TIME. <u>A SEPARATE PERMIT WILL BE FILED FOR SIGN.</u>
PROJECT INFORMATION	BOUNDARY AND INFORMATION FOR SITE TAKEN FROM RECORD PLATS AND A SURVEY PREPARED BY SPG PLANNERS + ENGINEERS FOR TRYU DATED 05/29/2024. TOPOGRAPHIC INFORMATION FROM SURVEY.
PROJECT INFORMATION	THIS PROJECT SHALL MEET ALL ATHENS-CLARKE COUNTY ORDINANCES PERTAINING TO SIGNS, SIDEWALKS, STREET LIGHTING, STREET TREES, AND SOLID WASTE COLLECTION. ALL LIGHTING FIXTURES MUST BE FULLY-SHIELDED IN ACCORDANCE WITH ATHENS-CLARKE COUNTY STANDARDS TO ENSURE DOWNWARD ILLUMINATION ONLY.
PROJECT INFORMATION	STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH ATHENS-CLARKE COUNTY ORDINANCES AND REGULATIONS.
PROJECT INFORMATION	THIS PROJECT IS TO BE CONSTRUCTED IN A SINGLE PHASE, BEGINNING UPON APPROVAL OF ALL REQUIRED PLANS AND AFTER OBTAINING ALL REQUIRED PERMITS.



Project Info:

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1140 Dr. Martin Luther King Jr Pkwy
Athens, GA
Clarke County

Sheet Issue: 10/04/24 Project No. 24-7455

Firm Info:

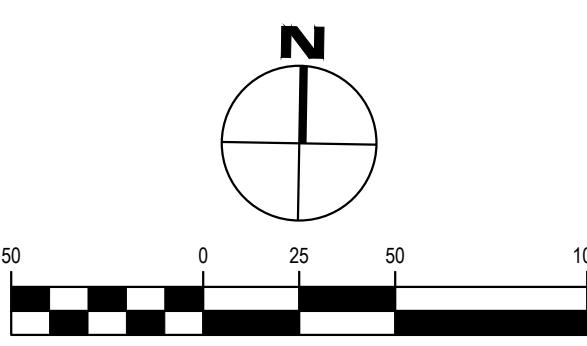


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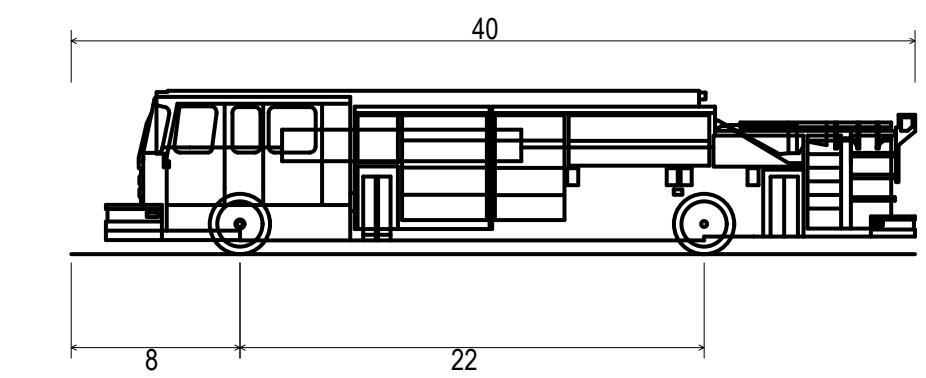
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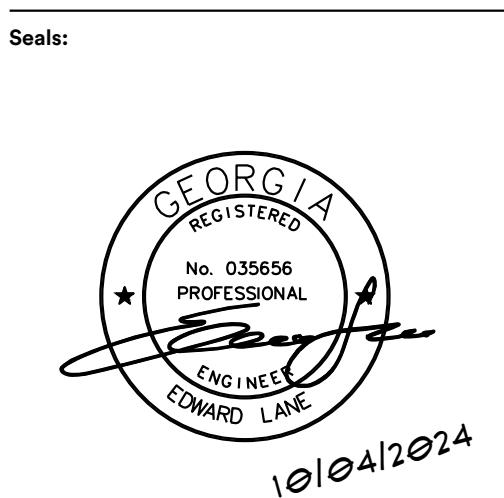


C-20



Pumper Fire Truck
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

40.000ft
8.167ft
7.745ft
0.656ft
8.167ft
5.00s
45.00°



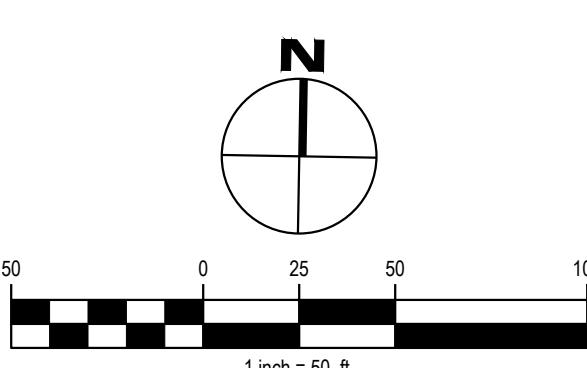
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Emergency Vehicle Access Plan



C-30