

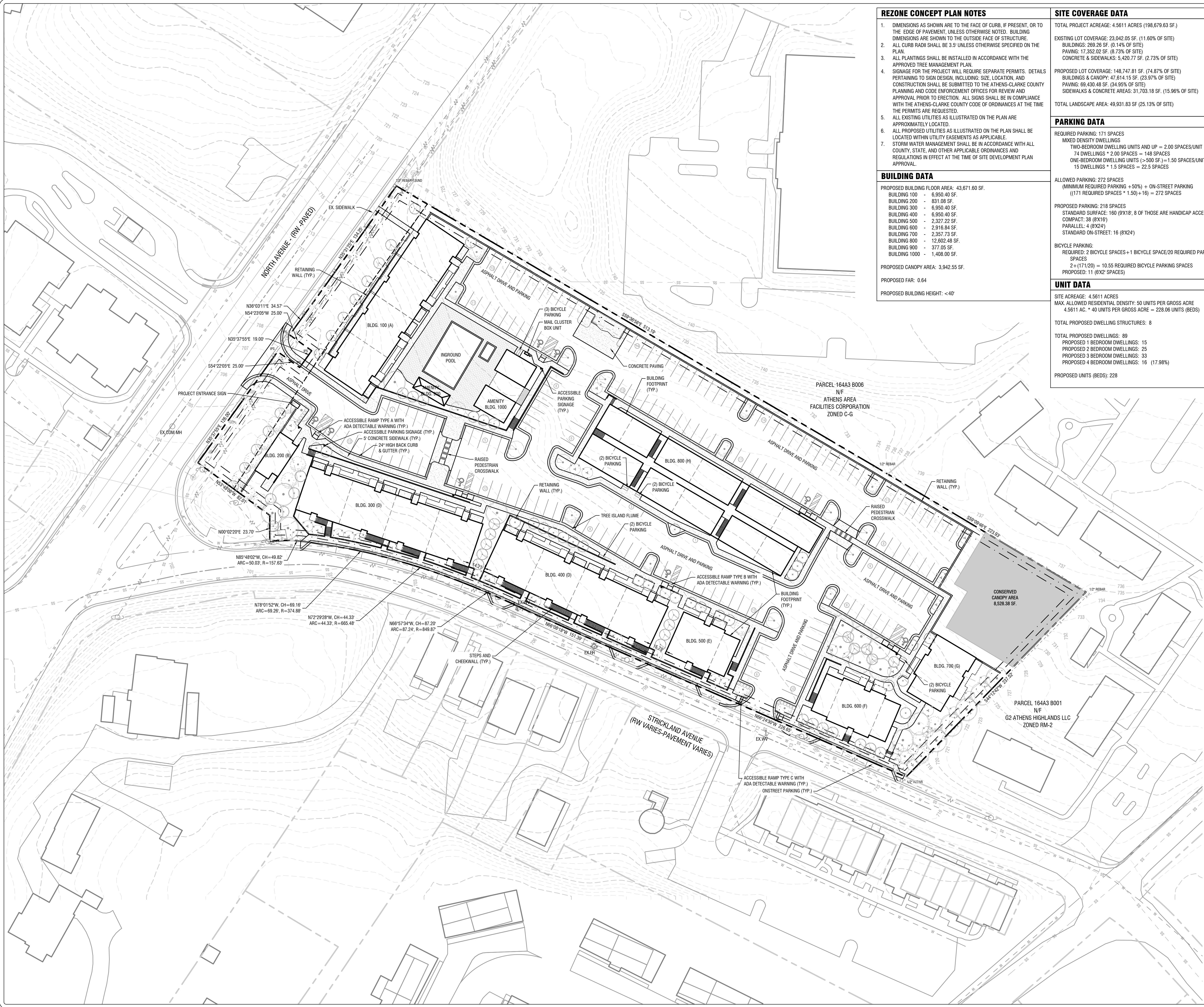
REZONE
218 NORTH AVE
27 NOVEMBER 2024

ARCHITECT:
STUDIO.BNA architects + interiors
675 Pulaski Street, Suite 600
Athens, Georgia 30601
www.studiobna.com
706.850.4224

CIVIL / LANDSCAPE:
PITTMAN & GREER ENGINEERING
1050 Barber Creek Dr, BLDG 400
Watkinsville, GA 30677
www.pittmangreer.com
706.419.9244

DEVELOPMENT TEAM:
THREE RIVERS FARM, LLC
218 North Ave
Athens, GA 30601
706.543.6143
bdulinawka@aol.com





REZONE CONCEPT PLAN NOTES

- DIMENSIONS AS SHOWN ARE TO THE FACE OF CURB, IF PRESENT, OR TO THE EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. BUILDING DIMENSIONS ARE SHOWN TO THE OUTSIDE FACE OF STRUCTURE.
- ALL CURB RADI SHALL BE 3.5' UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED TREE MANAGEMENT PLAN.
- SIGNAGE FOR THE PROJECT WILL REQUIRE SEPARATE PERMITS. DETAILS PERTAINING TO SIGN DESIGN, INCLUDING: SIZE, LOCATION, AND CONSTRUCTION SHALL BE SUBMITTED TO THE ATHENS-CLARKE COUNTY PLANNING AND CODE ENFORCEMENT OFFICES FOR REVIEW AND APPROVAL PRIOR TO ERECTION. ALL SIGNS SHALL BE IN COMPLIANCE WITH THE ATHENS-CLARKE COUNTY CODE OF ORDINANCES AT THE TIME THE PERMITS ARE REQUESTED.
- ALL EXISTING UTILITIES AS ILLUSTRATED ON THE PLAN ARE APPROXIMATELY LOCATED.
- ALL PROPOSED UTILITIES AS ILLUSTRATED ON THE PLAN SHALL BE LOCATED WITHIN UTILITY EASEMENTS AS APPLICABLE.
- STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH ALL COUNTY, STATE, AND OTHER APPLICABLE ORDINANCES AND REGULATIONS IN EFFECT AT THE TIME OF SITE DEVELOPMENT PLAN APPROVAL.

BUILDING DATA

PROPOSED BUILDING FLOOR AREA: 43,671.60 SF.
BUILDING 100 - 6,950.40 SF.
BUILDING 200 - 6,310.08 SF.
BUILDING 300 - 6,950.40 SF.
BUILDING 400 - 6,950.40 SF.
BUILDING 500 - 2,327.22 SF.
BUILDING 600 - 2,915.84 SF.
BUILDING 700 - 2,357.73 SF.
BUILDING 800 - 12,802.48 SF.
BUILDING 900 - 377.05 SF.
BUILDING 1000 - 1,408.00 SF.

PROPOSED CANOPY AREA: 3,942.55 SF.

PROPOSED FAR: 0.64

PROPOSED BUILDING HEIGHT: <40'

SITE COVERAGE DATA

TOTAL PROJECT ACREAGE: 4.5611 ACRES (198,679.63 SF.)
EXISTING LOT COVERAGE: 23,042.05 SF. (11.60% OF SITE)
BUILDINGS: 269.26 SF. (0.14% OF SITE)
PAVING: 17,352.02 SF. (8.73% OF SITE)
CONCRETE & SIDEWALKS: 5,420.77 SF. (2.73% OF SITE)
PROPOSED LOT COVERAGE: 148,747.81 SF. (74.87% OF SITE)
BUILDINGS & CANOPY: 47,614.15 SF. (23.97% OF SITE)
PAVING: 69,430.48 SF. (34.95% OF SITE)
SIDEWALKS & CONCRETE AREAS: 31,703.18 SF. (15.96% OF SITE)
TOTAL LANDSCAPE AREA: 49,931.83 SF (25.13% OF SITE)

PARKING DATA

REQUIRED PARKING: 171 SPACES
MIXED DENSITY DWELLINGS
TWO-BEDROOM DWELLING UNITS AND UP = 2.00 SPACES/UNIT
74 DWELLINGS * 2.00 SPACES = 148 SPACES
ONE-BEDROOM DWELLING UNITS (>500 SF) = 1.50 SPACES/UNIT
15 DWELLINGS * 1.5 SPACES = 22.5 SPACES

ALLOWED PARKING: 272 SPACES
(MINIMUM REQUIRED PARKING <50% + ON-STREET PARKING
(171 REQUIRED SPACES * 1.50 + 16) = 272 SPACES

PROPOSED PARKING: 218 SPACES
STANDARD SURFACE: 160 (9'X18', 8 OF THOSE ARE HANDICAP ACCESSIBLE)
COMPACT: 38 (8'X16')
PARALLEL: 4 (8'X24')
STANDARD ON-STREET: 16 (8'X24')

BICYCLE PARKING:
REQUIRED: 2 BICYCLE SPACES + 1 BICYCLE SPACE/20 REQUIRED PARKING SPACES
2+(171/20) = 10.55 REQUIRED BICYCLE PARKING SPACES
PROPOSED: 11 (6'X2' SPACES)

UNIT DATA

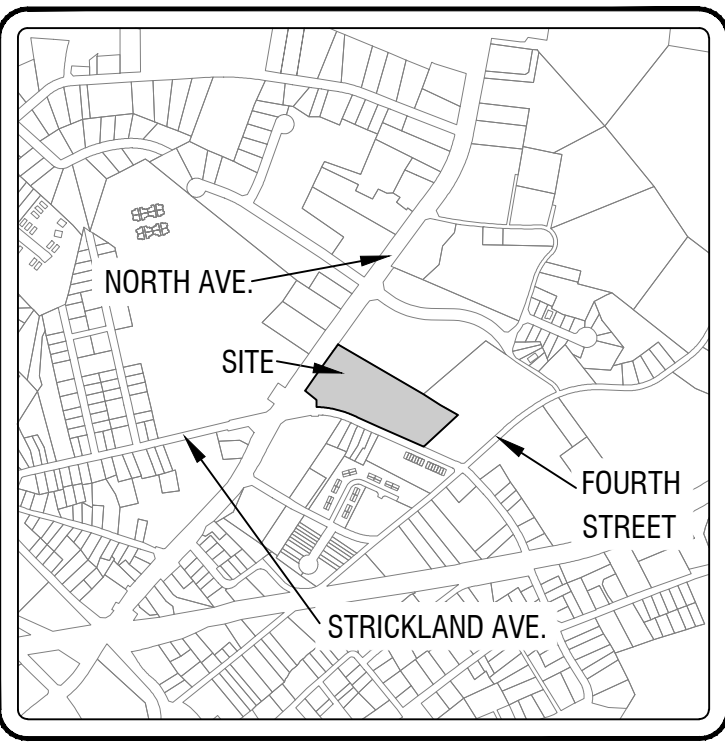
SITE ACREAGE: 4.5611 ACRES
MAX. ALLOWED RESIDENTIAL DENSITY: 50 UNITS PER GROSS ACRE
4.5611 AC. * 40 UNITS PER GROSS ACRE = 228.06 UNITS (BEDS)

TOTAL PROPOSED DWELLING STRUCTURES: 8

TOTAL PROPOSED DWELLINGS: 89
PROPOSED 1 BEDROOM DWELLINGS: 15
PROPOSED 2 BEDROOM DWELLINGS: 25
PROPOSED 3 BEDROOM DWELLINGS: 33
PROPOSED 4 BEDROOM DWELLINGS: 16 (17.98%)

PROPOSED UNITS (BEDS): 228

VICINITY MAP - SCALE: 1" = 1000'



PROJECT DATA

PROPERTY OWNER:
THREE RIVERS FARM LLC
218 NORTH AVENUE
ATHENS, GEORGIA 30601
ATTN: -----

DEVELOPER:
COLLEGE TOWN PROPERTIES
428 N. MILLEDGE AVENUE
ATHENS, GEORGIA 30601
ATTN: CHASE LAWRENCE, 706.850.7740

AUTHORIZED AGENT:
PITTMAN & GREER ENGINEERING P.C.
1050 BARBER CREEK DRIVE, BLDG. 400
WATKINSVILLE, GEORGIA 30677
706.419.9244

PHYSICAL ADDRESS: 218 NORTH AVENUE

TAX PARCEL: 16302 8001

TOTAL PROJECT ACREAGE: 4.5611 ACRES (198,679.63 SF.)

CONTOUR INTERVAL: 1' NOAA TOPO

BOUNDARY SURVEY: THIS DRAWING WAS PREPARED USING A BASELINE SURVEYING RETRACEMENT BOUNDARY & EXISTING CONDITIONS SURVEY FOR CHASE LAWRENCE, DATED 10.23.2024.

EXISTING ZONING: C-N

PROPOSED ZONING: RM-3

EXISTING USE: RV PARK & SINGLE-FAMILY RESIDENTIAL

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

FLOOD PLAIN: SUBJECT PROPERTIES ARE WITHIN AREAS HAVING ZONE DESIGNATION OF ZONE X, DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NO. 13059C0016F, WITH AN EFFECTIVE DATE OF 09/15/2022, FOR COMMUNITY PANEL NUMBER 130040, (ATHENS-CLARKE COUNTY), GEORGIA.

THERE ARE NO STATE WATERS ONSITE, NOR WITHIN 200' OF THE SITE.

THERE ARE NO WETLANDS DELINEATED ON SITE.

THIS PROPERTY DOES NOT CONTAIN ENVIRONMENTAL AREAS AS DENOTED ON THE ATHENS-CLARKE COUNTY ENVIRONMENTAL MAP DATED 11/24/13.

RM-3 ZONING REGULATIONS

MAX. RESIDENTIAL DENSITY: 50 UNITS PER GROSS ACRE
MIN. FRONT YARD: 10 FEET
MIN. REAR YARD: 10 FEET, PLUS ONE-HALF FOOT FOR EACH FOOT OF BUILDING HEIGHT ABOVE 25 FEET
MIN. SIDE YARD: 6 FEET
MIN. SIDE YARD ADJ. TO STREET: 10 FEET
MIN. BUILDING SEPARATION: 12 FEET
MAX. LOT COVERAGE: 75%
MIN. LANDSCAPED AREA: 25%
MAX. BUILDING HEIGHT: 40'
TOTAL TREE CANOPY COVER, CONSERVED AND PLANTED: 45%
CONSERVED TREE CANOPY COVER COMPONENT OF TOTAL: 15%

SERVICE PROVIDERS

WATER: ATHENS-CLARKE COUNTY PUBLIC UTILITY DEPARTMENT
SANITARY SEWER: ATHENS-CLARKE COUNTY PUBLIC UTILITY DEPARTMENT
ELECTRIC: GA POWER
COMMUNICATION: AT&T ATHENS & CHARTER COMMUNICATIONS
GAS: ATLANTA GAS LIGHT COMPANY
STORM SEWER: ATHENS-CLARKE COUNTY PUBLIC WORKS DEPARTMENT
SOLID WASTE: BY PRIVATE CONTRACT

SITE DRAINAGE

CONCRETE CURB AND GUTTER AND COUNTY APPROVED PIPE WILL BE EMPLOYED TO COLLECT AND DIVERT SURFACE WATER TO THE PROPOSED UNDERGROUND STORM WATER MANAGEMENT FACILITY.

PLANT LEGEND

WILLOW OAK	REDBUD
RED MAPLE	YOSHINO CHERRY
BLACKGUM	INDIAN HAWTHORNE
DOGWOOD	

REVISIONS	DESCRIPTION
DATE	

PITTMAN & GREER ENGINEERING P.C.
1050 BARBER CREEK DRIVE - BLDG. 400
WATKINSVILLE GA 30677
P. 706.419.9244 - WWW.PITTMANGREER.COM

GEORGIA REGISTERED
No. 1478
PROFESSIONAL
LANDSCAPE ARCHITECT
WILLIAM J. GREER
11.2.2024
ISSUE PURPOSE
FOR REVIEW ONLY

218 NORTH AVENUE
4.5611 AC. - 218 NORTH AVENUE
CLARKE COUNTY, GEORGIA

N
SCALE 1" = 40'
0 20 40
PROJECT NUMBER
2024-064
811
DATE
11.22.2024
REZONE CONCEPT PLAN
01



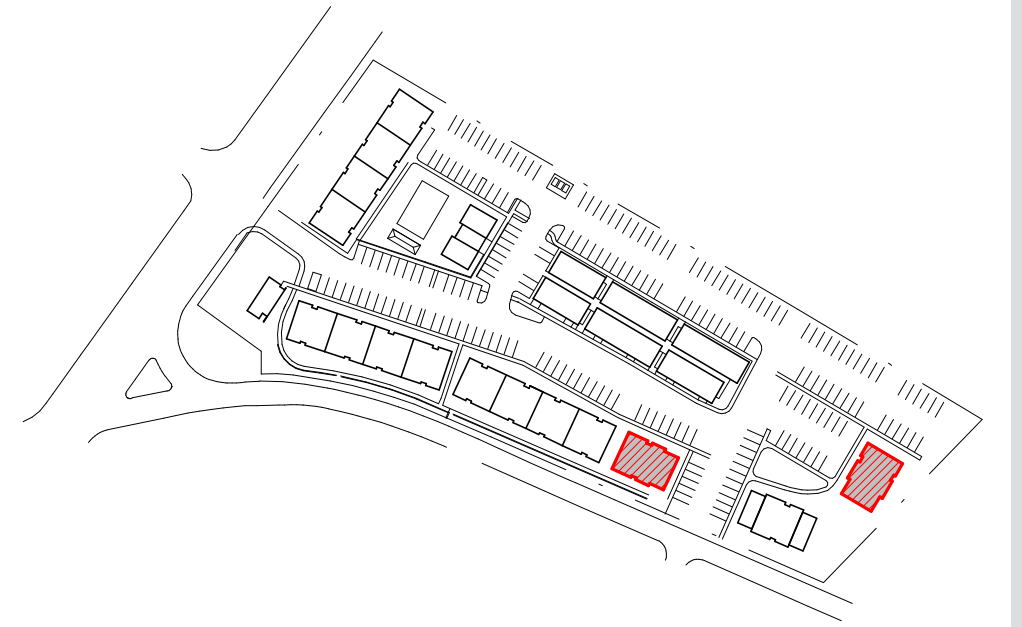
5 PERSPECTIVE 1



6 PERSPECTIVE 2



7 PERSPECTIVE 3



KEYED NOTES

- 401 SILL HEIGHT BRICK WALL
- 402 SLOPED BRICK SILL
- 403 RUNNING BOND BRICK WALL
- 505 PRE-FINISHED METAL PARAPET CAP
- 506 METAL PANEL ROOF
- 601 ASPHALT SHINGLE ROOF
- 604 FIBERCEMENT FASCIA BOARD
- 606 CANOPY
- 607 TIMBER FRAMED DECK
- 608 TIMBER FRAMED STAIRCASE
- 609 WOODEN RAFTER TAIL
- 610 BOARD AND BATTEN SIDING
- 611 TIMBER FRAMED METAL PANEL CANOPY
- 612 FIBERCEMENT TRIM BOARD





5 FRONT PERSPECTIVE



6 REAR PERSPECTIVE



KEYED NOTES

- 402 SLOPED BRICK SILL
- 403 RUNNING BOND BRICK WALL
- 501 K STYLE GUTTERS AND DOWNSPOUTS
- 504 STEEL BUCK AROUND WINDOWS
- 505 PRE-FINISHED METAL PARAPET CAP
- 506 METAL PANEL ROOF
- 604 FIBERCEMENT FASCIA BOARD
- 610 BOARD AND BATTEN SIDING
- 611 TIMBER FRAMED METAL PANEL CANOPY



3 REAR ELEVATION
3/16" = 1'-0"



4 SIDE ELEVATION B
3/16" = 1'-0"



1 FRONT ELEVATION
3/16" = 1'-0"



2 SIDE ELEVATION A
3/16" = 1'-0"



5 PERSPECTIVE 1



6 PERSPECTIVE 2



KEYED NOTES

- 401 SILL HEIGHT BRICK WALL
- 402 SLOPED BRICK SILL
- 403 RUNNING BOND BRICK WALL
- 501 K STYLE GUTTERS AND DOWNSPOUTS
- 601 ASPHALT SHINGLE ROOF
- 602 FIBERCEMENT LAP SIDING HORIZONTAL
- 604 FIBERCEMENT FASCIA BOARD
- 605 TRIM AROUND WINDOWS
- 606 CANOPY
- 607 TIMBER FRAMED DECK
- 608 TIMBER FRAMED STAIRCASE
- 609 WOODEN RAFTER TAIL
- 610 BOARD AND BATTEN SIDING
- 611 TIMBER FRAMED METAL PANEL CANOPY
- 612 FIBERCEMENT TRIM BOARD



3 FRONT ELEVATION
1/8" = 1'-0"



4 SIDE ELEVATION B
1/8" = 1'-0"



1 REAR ELEVATION
1/8" = 1'-0"



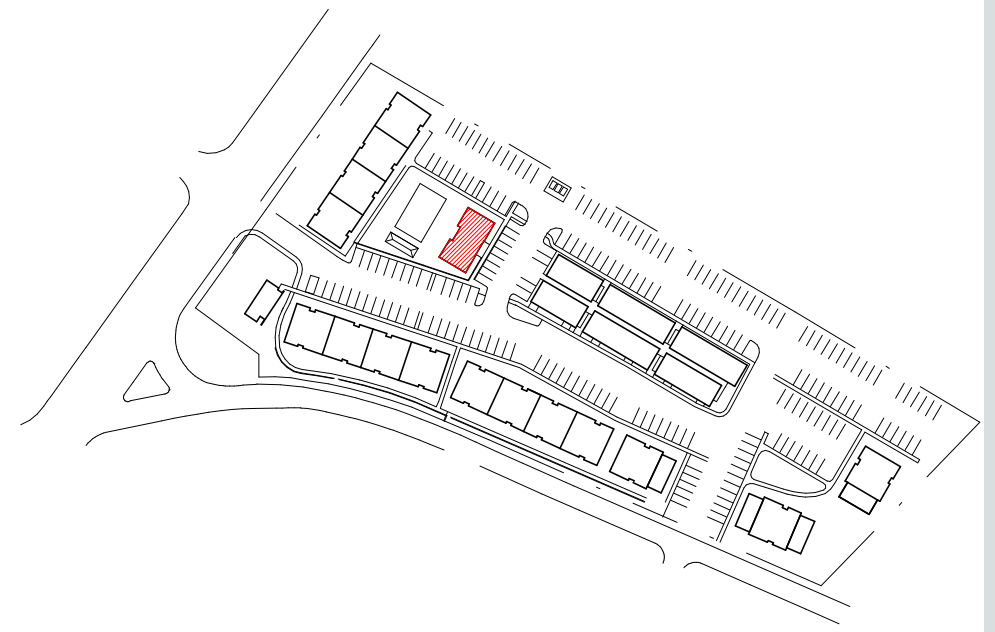
2 SIDE ELEVATION A
1/8" = 1'-0"



5 PERSPECTIVE 1

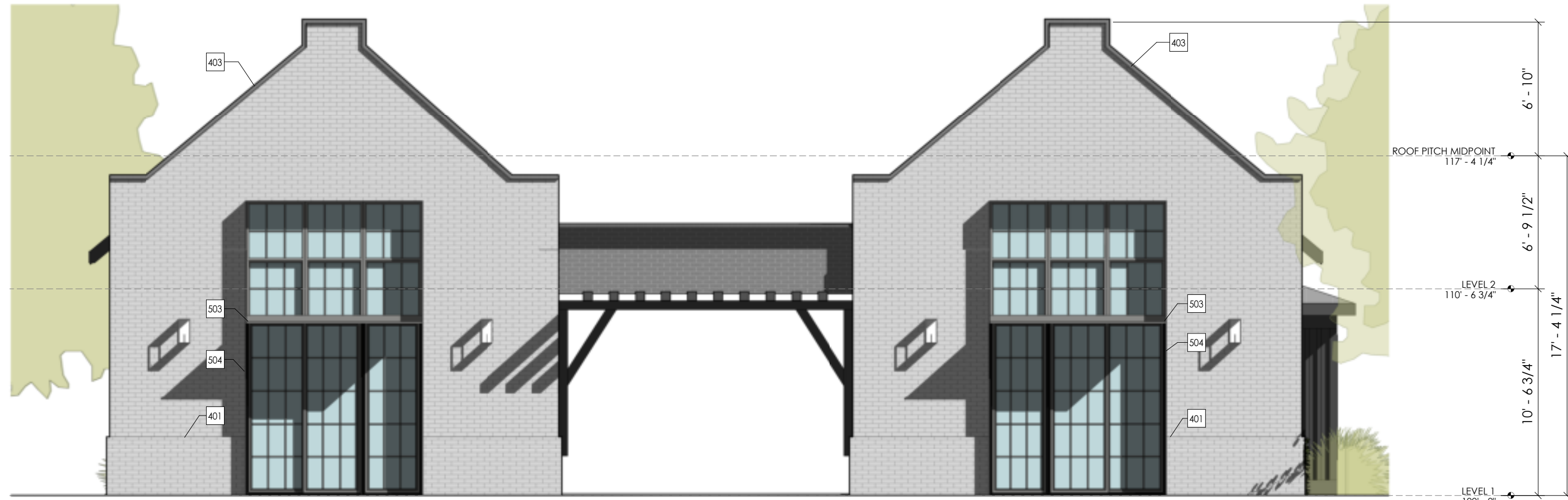


6 PERSPECTIVE 2



KEYED NOTES

- 401 SILL HEIGHT BRICK WALL
- 403 RUNNING BOND BRICK WALL
- 503 STEEL CANOPY
- 504 STEEL BUCK AROUND WINDOWS
- 505 PRE-FINISHED METAL PARAPET CAP
- 506 METAL PANEL ROOF
- 604 FIBERCEMENT FASCIA BOARD
- 605 TRIM AROUND WINDOWS
- 606 CANOPY
- 610 BOARD AND BATTEN SIDING
- 612 FIBERCEMENT TRIM BOARD



3 REAR ELEVATION
3/16" = 1'-0"



4 SIDE ELEVATION B
3/16" = 1'-0"



1 FRONT ELEVATION
3/16" = 1'-0"



2 SIDE ELEVATION A
3/16" = 1'-0"





