



Know what's below
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PARKING CALCULATIONS	
PARKING REQUIREMENT (RESIDENTIAL USES): THERE SHALL BE TWO PARKING SPACES PER DWELLING UNIT.	
LOT A	
TOWNHOME UNITS	13 TOWNHOMES
REQUIRED PARKING	26 SPACES
PROVIDED PARKING	26 SPACES
LOT B	
TOWNHOME UNITS	6 TOWNHOMES
REQUIRED PARKING	12 SPACES
PROVIDED PARKING	12 SPACES
SITE DENSITY CALCULATIONS	
DENSITY REQUIREMENT (RM-1): THE MAXIMUM RESIDENTIAL DENSITY WILL BE 16 DWELLING UNITS PER ACRE (2 BEDROOMS = 2 UNITS)	
TRACT A SIZE	1.74 ACRES
MAXIMUM DENSITY	27.84 DWELLING UNITS
DENSITY PROPOSED	27 DWELLING UNITS
TRACT B SIZE	0.85 ACRES
MAXIMUM DENSITY	13.6 DWELLING UNITS
DENSITY PROPOSED	13 DWELLING UNITS

REZONE NOTE: PROPERTY TO BE REZONED TO RS-5. TOWNHOMES ARE ONLY ALLOWED IN C-N ZONING WHEN PAIRED WITH LEASABLE SPACE.



LOCATION MAP
SCALE: N.T.S.

PROJECT INFORMATION	
DRAWING SET PREPARED BY: CARTER ENGINEERING 1010 COMMERCE DRIVE BOGART, GA 30622 CONTACT: JEFF CARTER, P.E. PHONE: 770.725.1200 JEFF@CARTERENGINEERING.COM	OWNER/DEVELOPER: RAC PROPERTIES OF ATHENS, INC. 2891 MONROE HIGHWAY, SUITE 103 BOGART, GA 30622 CONTACT: ROBERT SCOTT 706.621.2050 ROB@RACPROPERTIES.COM
SITE INFORMATION	
JURISDICTION	ATHENS-CLARKE COUNTY
PROPERTY LOCATION	200 & 205 ROCKWOOD BLVD BOGART, GA 30622
TRACT ACREAGE	TOTAL: 2.59 ACRES LOT A: 1.74 ACRES LOT B: 0.85 ACRES
PARCEL NUMBER	043 016 & 0445C5 5099
CURRENT ZONING	C-N (COMMERCIAL-NEIGHBORHOOD)
PROPOSED ZONING	RM-1 (MULTI-FAMILY RESIDENTIAL)
OVERLAY DISTRICT	...
EXISTING USE	VACANT COMMERCIAL LOT
PROPOSED USE	TOWNHOME DEVELOPMENT
BUFFERS REQUIRED	20' LANDSCAPE BUFFER
REQUIRED BUILDING SETBACKS	FRONT: 15-FEET (OR 1-FOOT PER FOOT OF STRUCTURAL HEIGHT) SIDE: 6-FEET (ADD 1-FOOT PER STRUCTURE FOOT OVER 20-FEET) REAR: 10-FEET (ADD 1-FOOT PER STRUCTURE FOOT OVER 20-FEET)
MAXIMUM LOT COVERAGE	50%
MAXIMUM BUILDING HEIGHT	30-FEET
SANITARY SEWER SERVICE	ATHENS-CLARKE COUNTY
WATER SERVICE	ATHENS-CLARKE COUNTY
FEMA FIRM NO.	13059C0030E
FEMA FIRM DATE	09.15.2022
FEMA SFHA ZONE	ZONE X
UNDERGROUND UTILITY DISCLAIMER: THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD INFORMATION AND/OR EXISTING DRAWINGS. CARTER ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CARTER ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE OWNER, HIS/HER EMPLOYEES, CONSULTANTS AND CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE CARTER ENGINEERING IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ALL UTILITIES PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER IF A DISCREPANCY IS FOUND. SPECIFICALLY, THE CONTRACTOR SHALL VERIFY THE INVERT ELEVATIONS OF ALL EXISTING STORM AND SANITARY SEWER STRUCTURES PRIOR TO COMMENCEMENT OF STORM AND SANITARY SEWER CONSTRUCTION.	

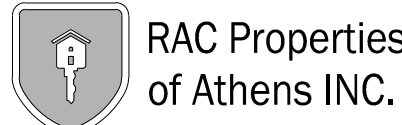
LOCATIONS OF EXISTING SEWER MANHOLES (H3-34) AND (H3-35) HAVE BEEN IDENTIFIED USING THE WATER MAPS AVAILABLE THROUGH THE ATHENS-CLARKE COUNTY GIS SYSTEM.

REVISION DATE & DESCRIPTION	
1	05.02.25 - INITIAL REZONE SUBMITTAL
2	...
3	...
4	...
5	...
6	...
7	...
8	...

SHEET TITLE:

SITE PLAN

PROJECT NAME:



SHEET NUMBER:

SP1

PROJECT NUMBER:

25002RACPA

DATE:

04.30.25

ENGINEER/DESIGNER NOT RESPONSIBLE FOR COST CHANGES DURING PRELIMINARY PHASE. BIDS & QUOTES SHALL BE BASED ON PLAN SETS LABELED 'ISSUE FOR CONSTRUCTION'.

SEALS



GSWCC Level II Certification
No. 000000000083

SITE DEVELOPMENT PLANS
FOR
ROCKWOOD TOWNHOMES
200 & 205 ROCKWOOD BLVD | BOGART, GA 30622

