

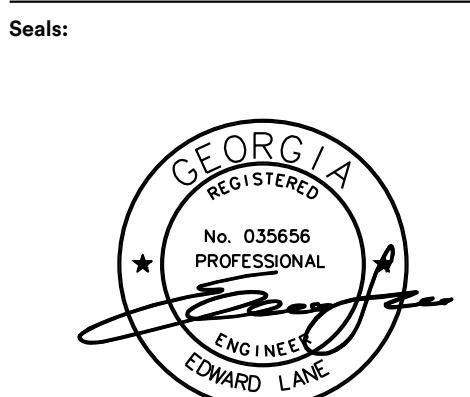
GENERAL TIME MASTER PLANNED DEVELOPMENT

ATHENS, GA

Owners
 Parcels: 043 008 + 043 008B
 Address: 100 Newton Bridge Road Athens, Georgia 30607
 Westclox Rocks LLC
 2100 Powers Ferry Road, Suite 300
 Atlanta, Georgia 30339

Developer
 The Ardent Companies
 2100 Powers Ferry Road, Suite 350
 Atlanta, Georgia 30339
 Ricardo De Rojas

Planner / Engineer / Landscape Architect
 SPG Planners + Engineers, LLC
 1725 Electric Avenue, STE 320
 Watkinsville, GA 30677
 Contact: Ed Lane, PE
 ed@onespg.com
 706.769.9515



Project Info: Project No. 24-3449

Project Name: General Time Master PD
 Project Location: 100 Newton Bridge Road
 Athens, Georgia
 Issue: 05/30/25

Revisions:

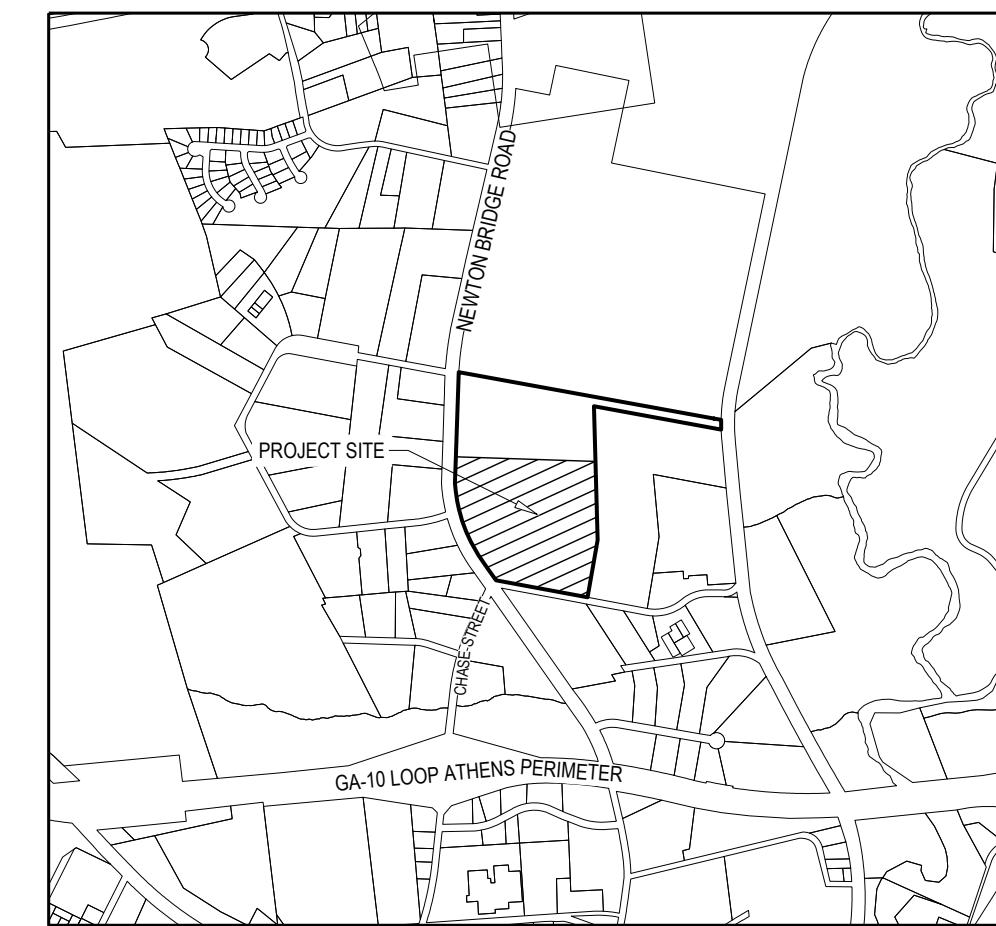
Firm Info:



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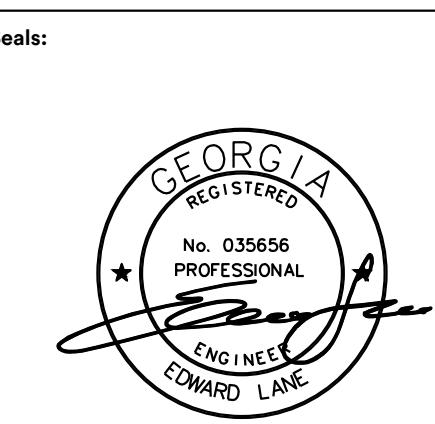
Sheet Title:

Cover Sheet



Vicinity Map
 Not to Scale





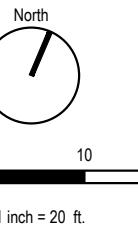
Location: S:\1\Projects\De Rojas, Ricardo - General Time PD Revision 2024-3449\04-CD's\01-CAD\01-WORKING20-SITE Creation date: Friday, May 30, 2025 9:06:03 AM
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*NOTE: CONFIGURATION OF LOADING/UNLOADING AND PARKING SHOWN IN THIS AREA IS REPRESENTATIVE AND NON-BINDING. THE ACTUAL CONFIGURATION WILL BE DEPENDANT ON ACTUAL TENANT SPACE BUILD-OUTS AND MAY INCLUDE A MIXTURE OF PARKING SPACES, STRIPED AREAS, ROLL-UP DOORS, AND RECEIVING BAYS. CONFIGURATION IS ALSO EXPECTED TO CHANGE OVERTIME PER DIFFERENT TENANTS OR TENANT NEEDS. THE APPLICANT REQUESTS THIS AREA TO BE NON-BINDING IN ORDER TO ALLOW THE INDIVIDUAL BUSINESS NEEDS TO DICTATE CHANGING CONFIGURATIONS.

* THE REQUIRED PARKING FOR FLEX SPACE DIFFERS FROM THE STANDARD ACC PARKING REQUIREMENTS AND IS UNIQUE TO THE GENERAL TIME PD. THE GENERAL TIME PD FLEX SPACE PARKING REQUIREMENTS ACCOMMODATE A DIVERSE MIX OF USES- RANGING FROM RESTAURANT TO WAREHOUSE- EACH WITH VARYING PARKING DEMANDS.

PD-20

0 10 20 40
1 inch = 20 ft

PD-21



Seals:

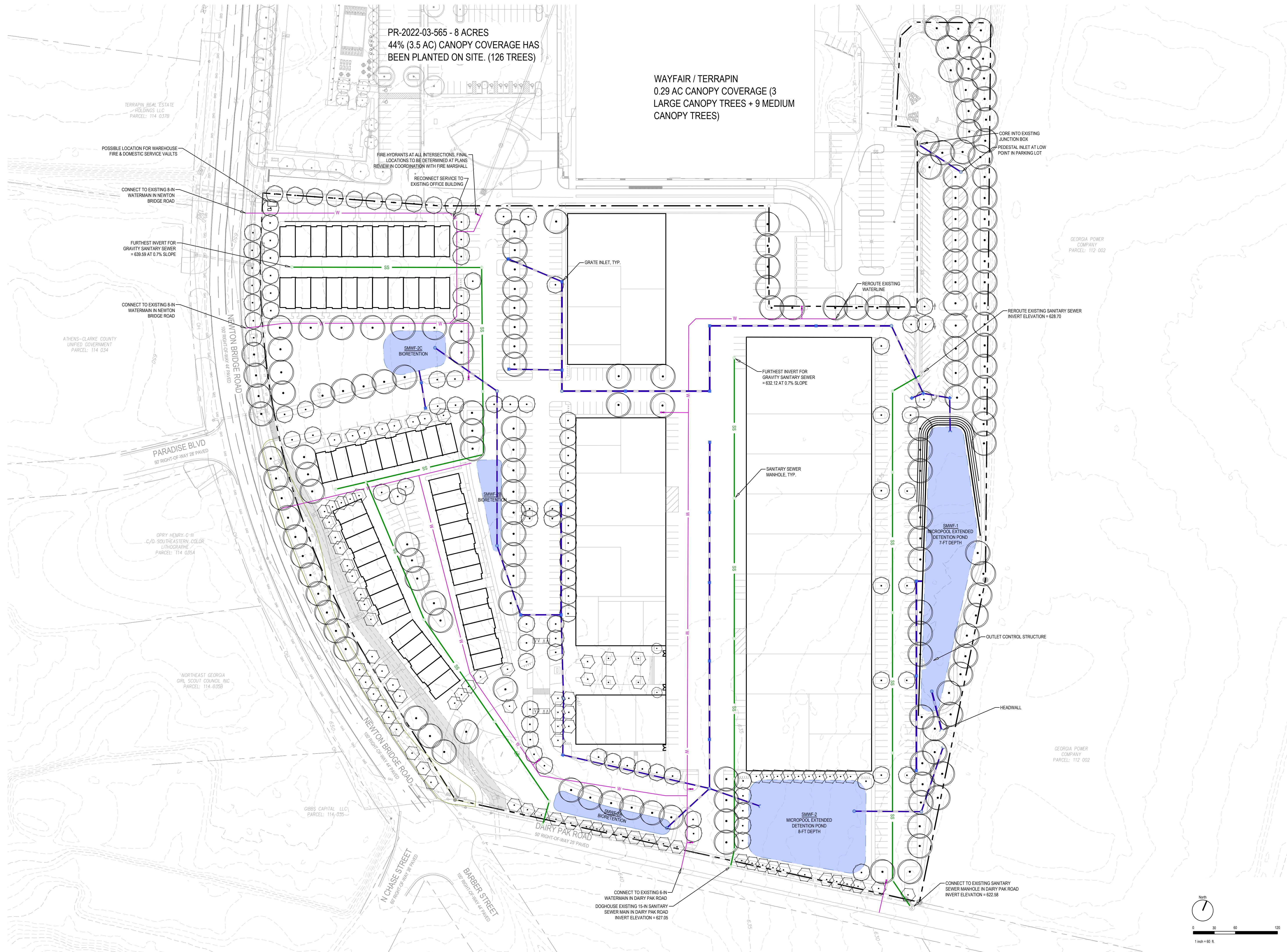
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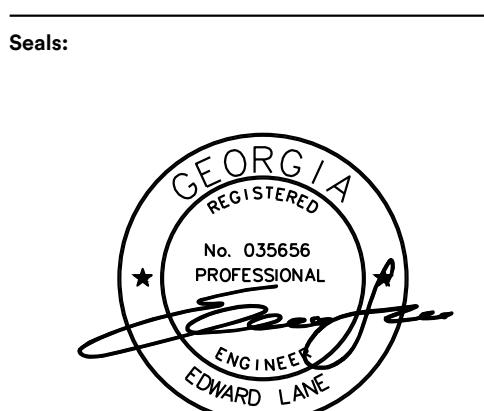
Revisions:

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Sheet Title:

Site Plan Enlargement





Project Info: Project No. 24-3449

Project Name: General Time Master PD

Project Location: 100 Newton Bridge Road

Athens, Georgia

Issue: 05/30/25

Revisions:

Firm Info:

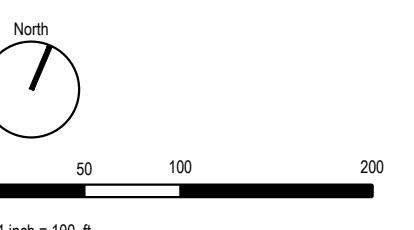


SPG Planners + Engineers

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Sheet Title:

Tree Management Plan



NO TREES IN EASEMENTS OR WITHIN 5' OF WATER OR SANITARY SEWER SERVICES.

EXISTING TREES

TREES / FORESTED AREAS	SIZE	QTY	UNIT CANOPY	TOTAL CANOPY
FORESTED AREA			SF	120,336 SF
TOTAL EXISTING CANOPY SF			SF	120,336 SF
TOTAL EXISTING CANOPY %				14.19% OF SITE

MINIMUM DISTANCES IN FEET REQUIRED BETWEEN TREES AND STRUCTURES OR INFRASTRUCTURE BY TREE CANOPY SIZE CATEGORY

STRUCTURE / INFRASTRUCTURE DESCRIPTION	TREE CANOPY SIZE CATEGORY FROM THE ACC TREE SPECIES LIST			
	LARGE	MEDIUM	SMALL	VERY SMALL
STREET INTERSECTION, MEASURED FROM THE R.O.W. BOUNDARY	35	35	35	35
TRAFFIC SIGNS	20	20	20	20
LIGHT POLES	20	20	15	15
OVERHEAD UTILITIES	30	20	0	0
UNDERGROUND UTILITIES	5	5	5	5
MAILBOXES	5	5	5	5
FH. ELECTRICAL BOXES, WM	5	5	5	5
CURB, SIDEWALK, EOP	2	2	1.5	1.5
BUILDINGS	15	10	5	5

NO STRUCTURES OR TREES TO BE PROPOSED WITHIN EXISTING AND/OR PROPOSED UTILITY EASEMENTS.

TREE MANAGEMENT CALCULATIONS FOR THE SUBJECT 19.37 ACRES

EXISTING TREES

TREES / FORESTED AREAS	SIZE	QTY	UNIT CANOPY	TOTAL CANOPY
FORESTED AREA			SF	120,336 SF
TOTAL EXISTING CANOPY SF			SF	120,336 SF
TOTAL EXISTING CANOPY %				14.19% OF SITE

EXISTING TREES CONSERVED

TREES / FORESTED AREAS	SIZE	QTY	UNIT CANOPY	TOTAL CANOPY
TREE SAVE AREA			SF	0 SF
TOTAL EXISTING CANOPY CONSERVED SF			SF	0 SF
TOTAL EXISTING CANOPY CONSERVED %				0.00% OF SITE

TREE CANOPY COVERAGE

(E-O) PD (19.47 ACRES)	REQUIRED - AC	PROPOSED - AC	REQUIRED - % OF SITE	PROPOSED - % OF SITE
CONSERVED CANOPY	2.92	0.00	15%	0.00%
TOTAL CANOPY COVERAGE (PLANTED, REGENERATION, & CONSERVED)	7.79	8.98	40%	46.13%

PROPOSED TREES: (E-O) PD

QTY	TYPE	% OF TOTAL	SIZE	UNIT CANOPY	TOTAL CANOPY
164	Large Canopy	46.07%	2'Cal. SF	1,600 SF	262,400 SF
104	Medium Canopy	29.21%	2'Cal. SF	900 SF	93,600 SF
88	Small Canopy	24.72%	2'Cal. SF	400 SF	35,200 SF

356 TOTAL # OF TREES (STREET & PARKING LOT) 100.00% TOTAL PROPOSED CANOPY 391,200 SF

STREET TREES

NEWTON BRIDGE FRONTAGE (FEET)	928
STREET TREES REQUIRED (1 PER 30):	31
STREET TREES CONSERVED:	0
STREET TREES PROPOSED:	31

CONCEPT PLANT SCHEDULE

VERY SMALL	2
Minimum open soil surface 25 sqft	
SMALL TREE	88
Minimum open soil surface 100 sqft	
MEDIUM TREE	104
Minimum open soil surface 225 sqft	
LARGE TREE	164
Minimum open soil surface 400 sf	

PARKING LOT TREES

# OF PARKING SPACES	618
REQ. PARKING LOT TREES (1 PER 7 SPACES)	88
PARKING LOT TREES CONSERVED:	0
PARKING LOT TREES PROPOSED:	172

TREE MANAGEMENT CALCULATIONS FOR THE OVERALL GENERAL TIME SITE 35.12 ACRES

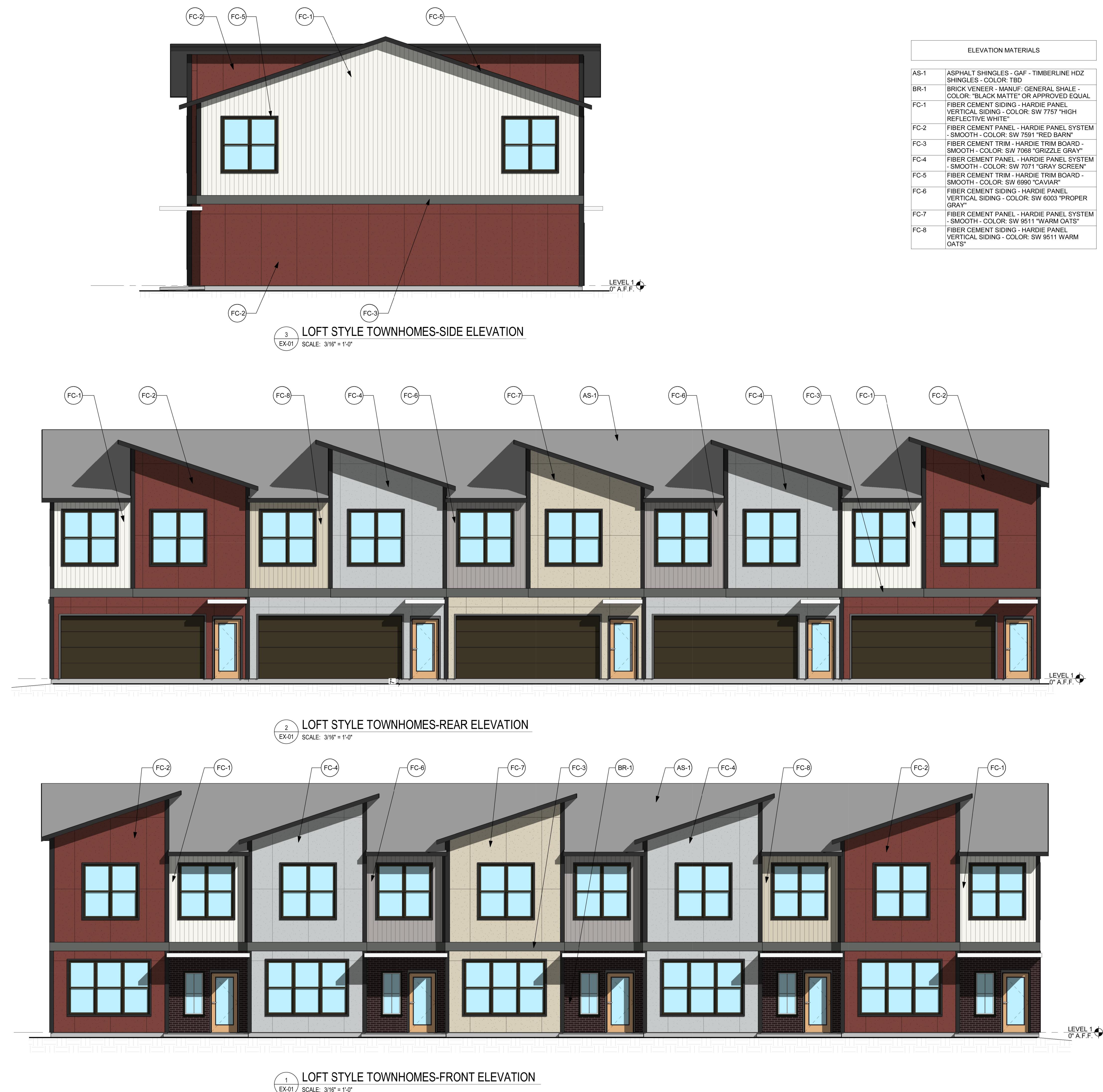
TREE CANOPY COVERAGE

(E-O) PD (35.12 ACRES)	REQUIRED - AC	PROPOSED - AC	REQUIRED - % OF SITE	PROPOSED - % OF SITE
TERRAPIN + WAYFAIR SPACE	-	0.29	-	-
PR-2022-03-565 (8.0 AC)	-	3.50	-	-
CONSERVED CANOPY*	1.37*	1.37	-	-
SUBJECT SITE (19.37 ACRES)	-	8.90	-	-
TOTAL CANOPY COVERAGE (PLANTED, REGENERATION, & CONSERVED)	14.05	14.06	40%	40.03%

*CONSERVED CANOPY PER APPROVED 2021 PD

Sheet Title:

Tree Management Plan



PHILLIPS

CONSULTANT

SEAL

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION
1	05.29.2025	Initial Issue
2	06.01.2025	Material Updates
3	06.05.2025	Final Review

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PROJECT

ATHENS MIXED-USE
ATHENS, GEORGIA

CLIENT

ARDENT

PHILLIPS JOB NUMBER 2444308
ISSUE DATE 05.29.2025
DRAWN BY/CHECKED BY CC / WB
DRAWING TITLE TOWNHOME ELEVATIONS - LOFT STYLE
SHEET NUMBER PD-50

5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSART.COM 770-394-1616

PD-50



PHILLIPS
CONSULTANT

SEAL

ISSUE & REVISION RECORD

DATE DESCRIPTION

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PROJECT

GENERAL TIME

ATHENS, GA

CLIENT



PHILLIPS JOB NUMBER 2444308

ISSUE DATE 05.29.2025

DRAWN BY/CHECKED BY ART/ RWF

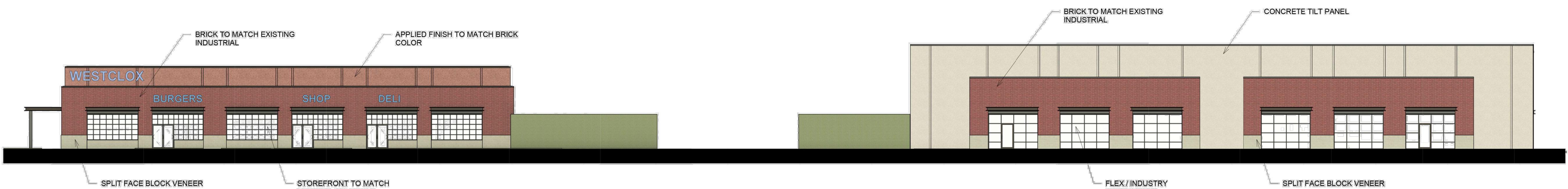
DRAWING TITLE OVERALL RETAIL / FLEX ELEVATIONS

SHEET NUMBER

PD-80

5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328

PHILLIPSPART.COM 770-394-1616



3 BLDG B AND BLDG C SOUTH ELEVATION

EX-02

SCALE: 1/16" = 1'-0"

2 BLDG B WEST ELEVATION

EX-02

SCALE: 1/16" = 1'-0"



1 BLDG A EAST ELEVATION

EX-02

SCALE: 1/16" = 1'-0"