



DIX-HITE  
150 WEST JESUP AVENUE  
LONGWOOD, FLORIDA 32750  
407.667.1777

Date: 05/30/2025  
Drawn by: MA / JB / CJ  
Reviewed by: JG  
Job Number: 240305  
Issued for: Date:

NORTH ATHENS PHASE 2  
530 N Hull Street, Athens - Clarke County, GA, 30601  
COLUMBIA RESIDENTIAL  
1718 Peachtree Street, Suite 684, South Tower, Atlanta, GA 30309

# NORTH ATHENS PHASE 2

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## ALTERNATIVE COMPLIANCE

MAY 30, 2025

Prepared For  
COLUMBIA RESIDENTIAL

ALTERNATIVE COMPLIANCE  
COVER SHEET

NOT FOR  
CONSTRUCTION

Sheet List Table	
Sheet Number	Sheet Title
LC000	COVER SHEET
LC002	OVERALL SITE PLAN
LC510	WALL A
LC511	WALL F2
LC512	WALL J2 & J3

Sheet Number:  
**LC000**



150 WEST JESUP AVENUE  
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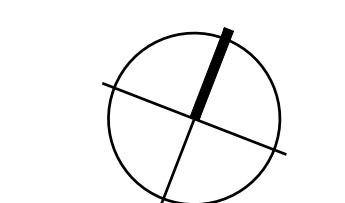
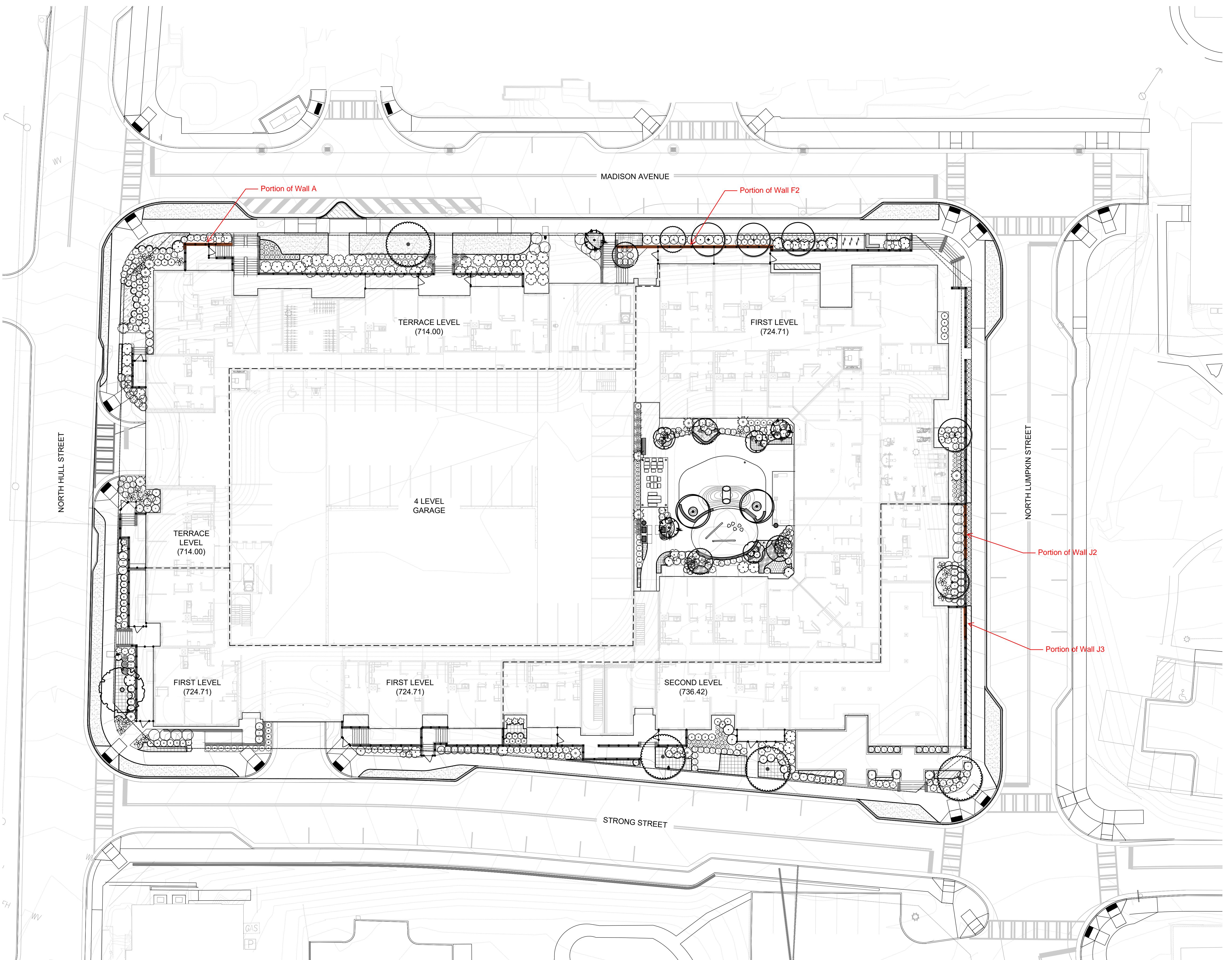
NORTH ATHENS PHASE 2  
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ALTERNATIVE COMPLIANCE

OVERALL SITE PLAN

NOT FOR CONSTRUCTION

Sheet Number:  
LC002



SCALE: 1" = 20'  
0 20 40



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LONGWOOD, FLORIDA 32750  
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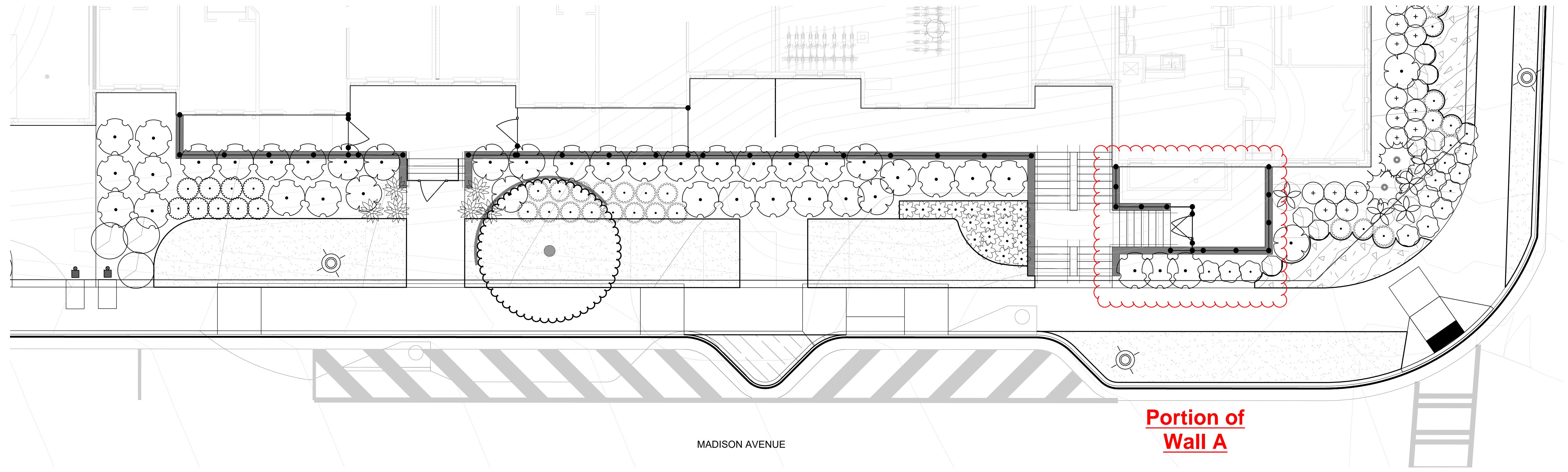
Date: 05/30/2025

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Reviewed by: JG

Job Number: 240305

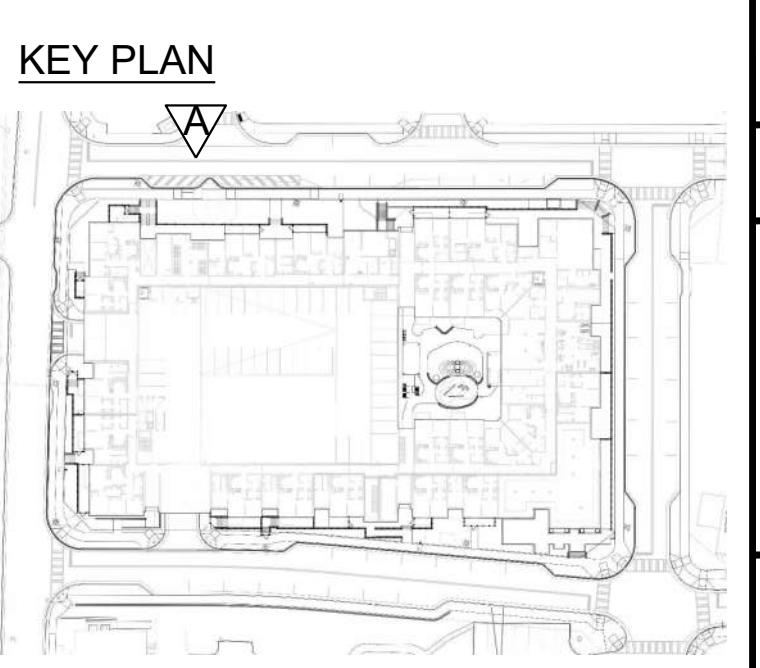
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ELEVATION

ELEVATION 'A'

1/8" = 1'-0"



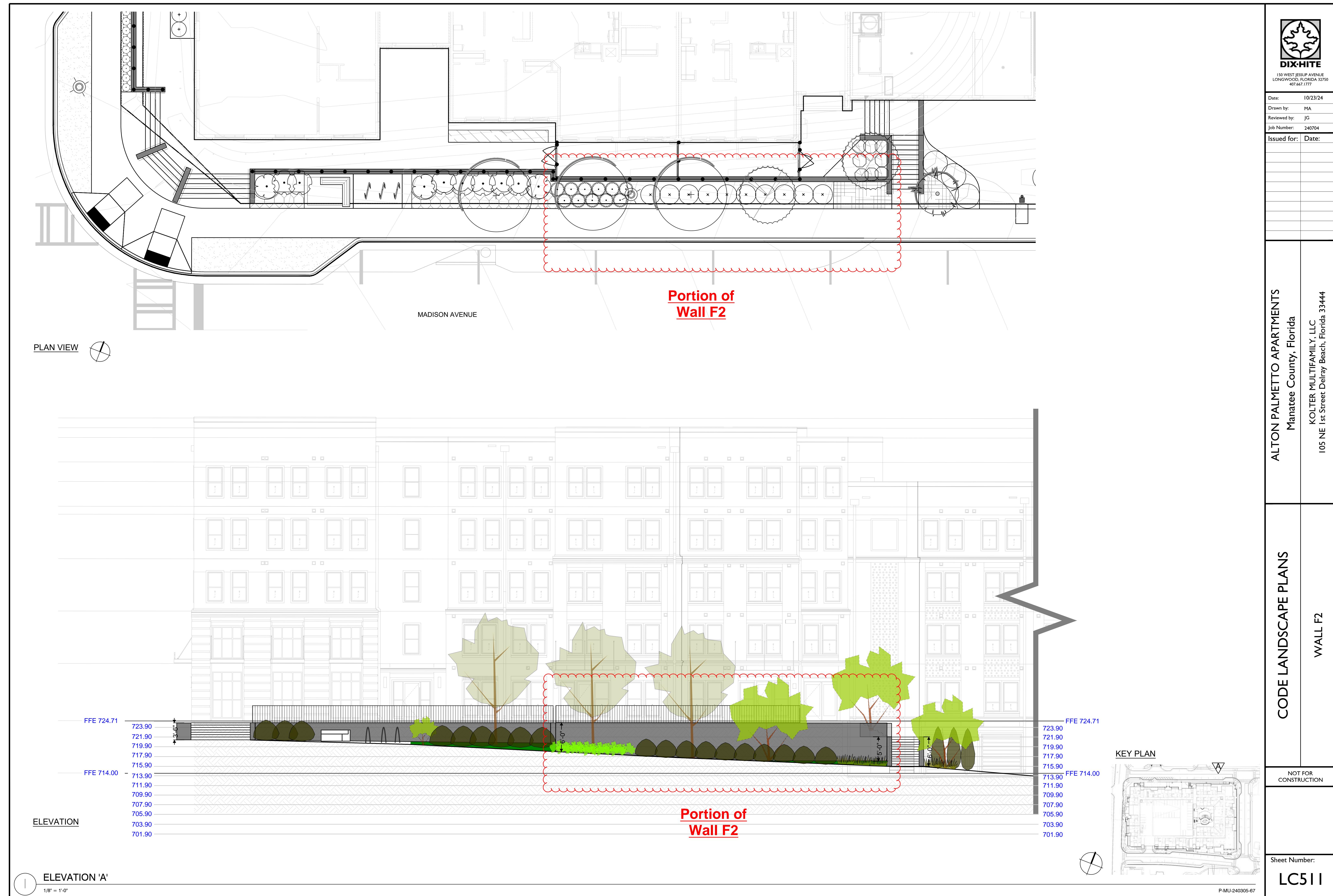
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**LC510**

**NORTH ATHENS PHASE 2**  
530 N Hull Street, Athens - Clarke County, GA, 30601

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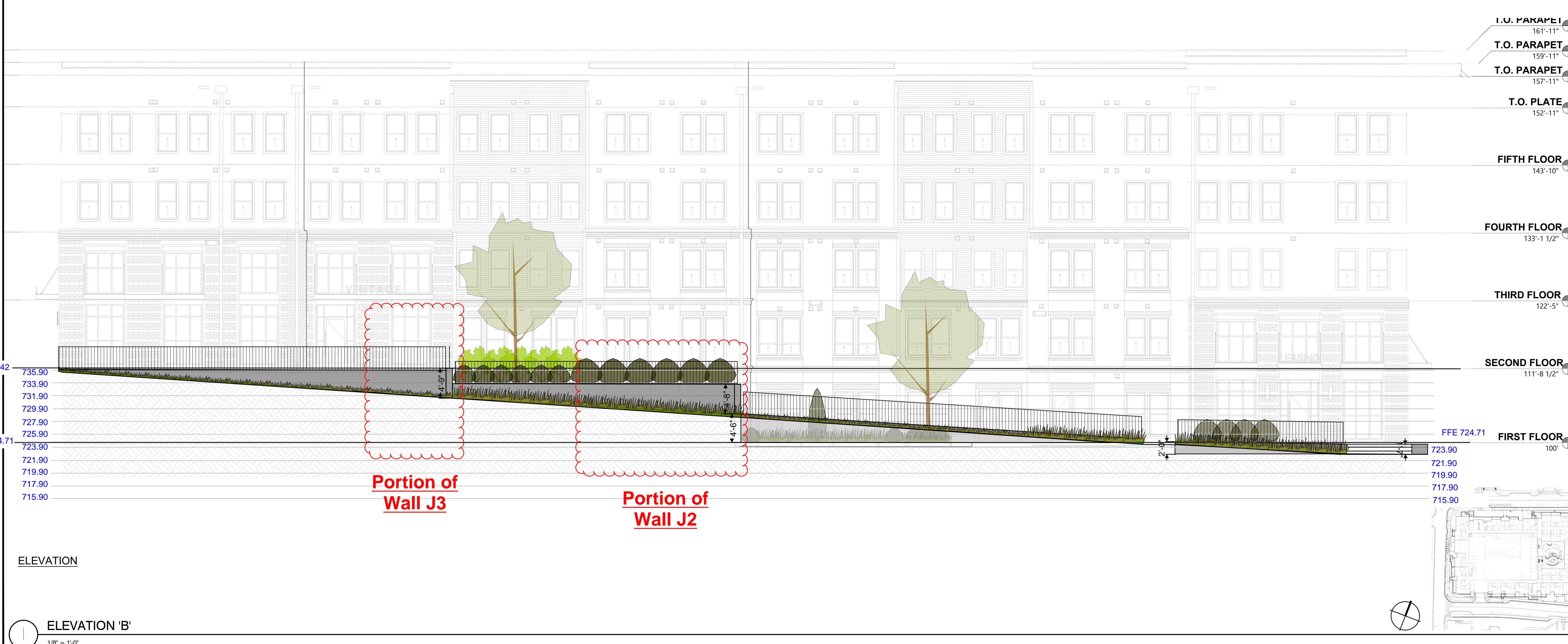
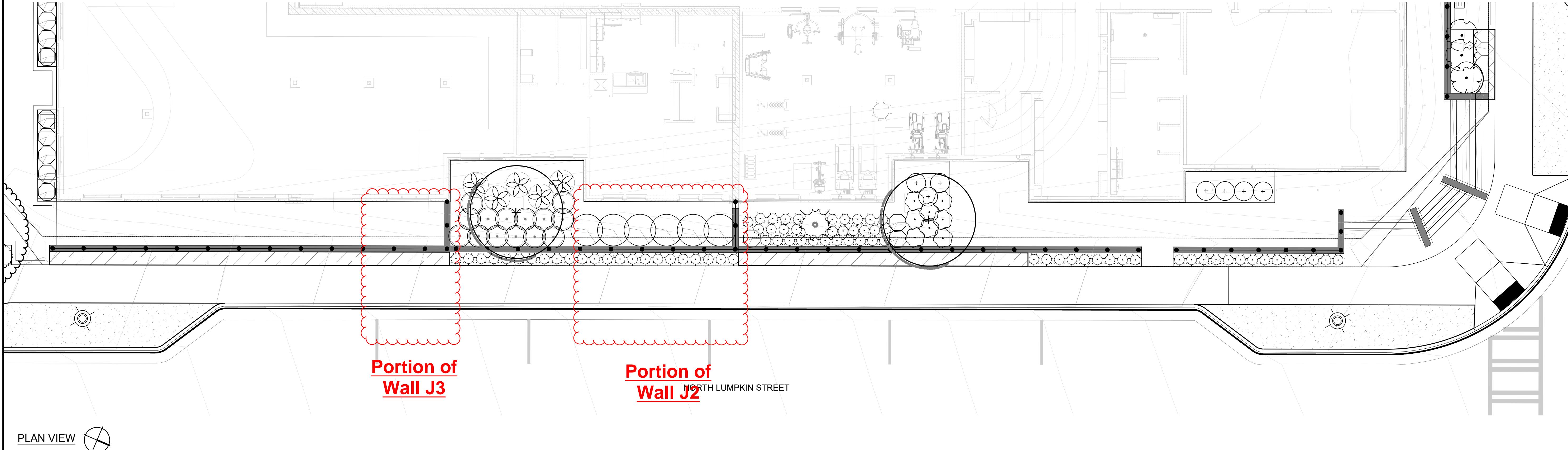
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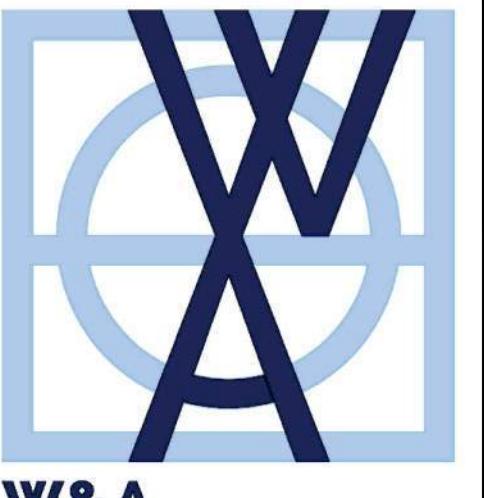
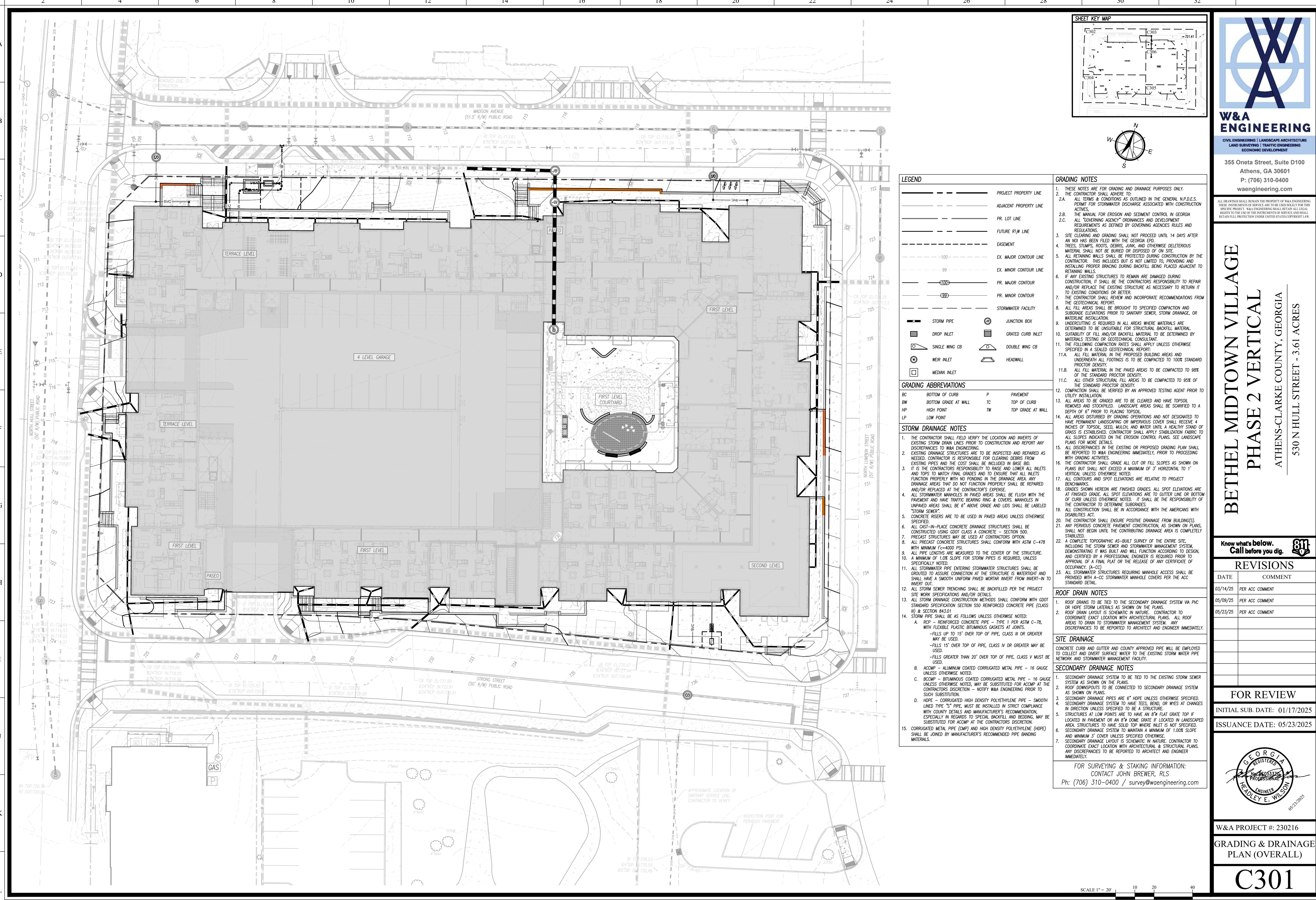




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**BETHEL MIDTOWN VILLAGE  
PHASE 2 VERTICAL**

530 N HULL STREET - 3.61 ACRES  
ATHENS-CLARKE COUNTY, GEORGIA

Know what's below.  
Call before you dig. 811

**REVISIONS**

DATE	COMMENT
03/14/25	PER ACC COMMENT
05/09/25	PER ACC COMMENT
05/23/25	PER ACC COMMENT

**ROOF DRAIN NOTES**

01/14/25 PER ACC COMMENT

05/09/25 PER ACC COMMENT

05/23/25 PER ACC COMMENT

**SECONDARY DRAINAGE NOTES**

01/14/25 PER ACC COMMENT

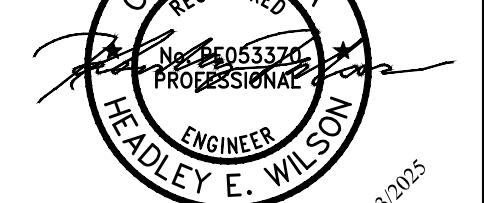
05/09/25 PER ACC COMMENT

05/23/25 PER ACC COMMENT

**FOR SURVEYING & STAKING INFORMATION:**

CONTACT JOHN BREWER, RLS

Ph: (706) 310-0400 / survey@waengineering.com

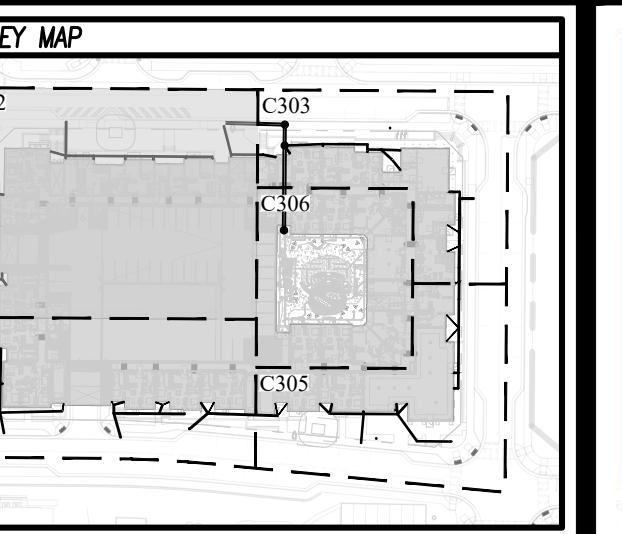
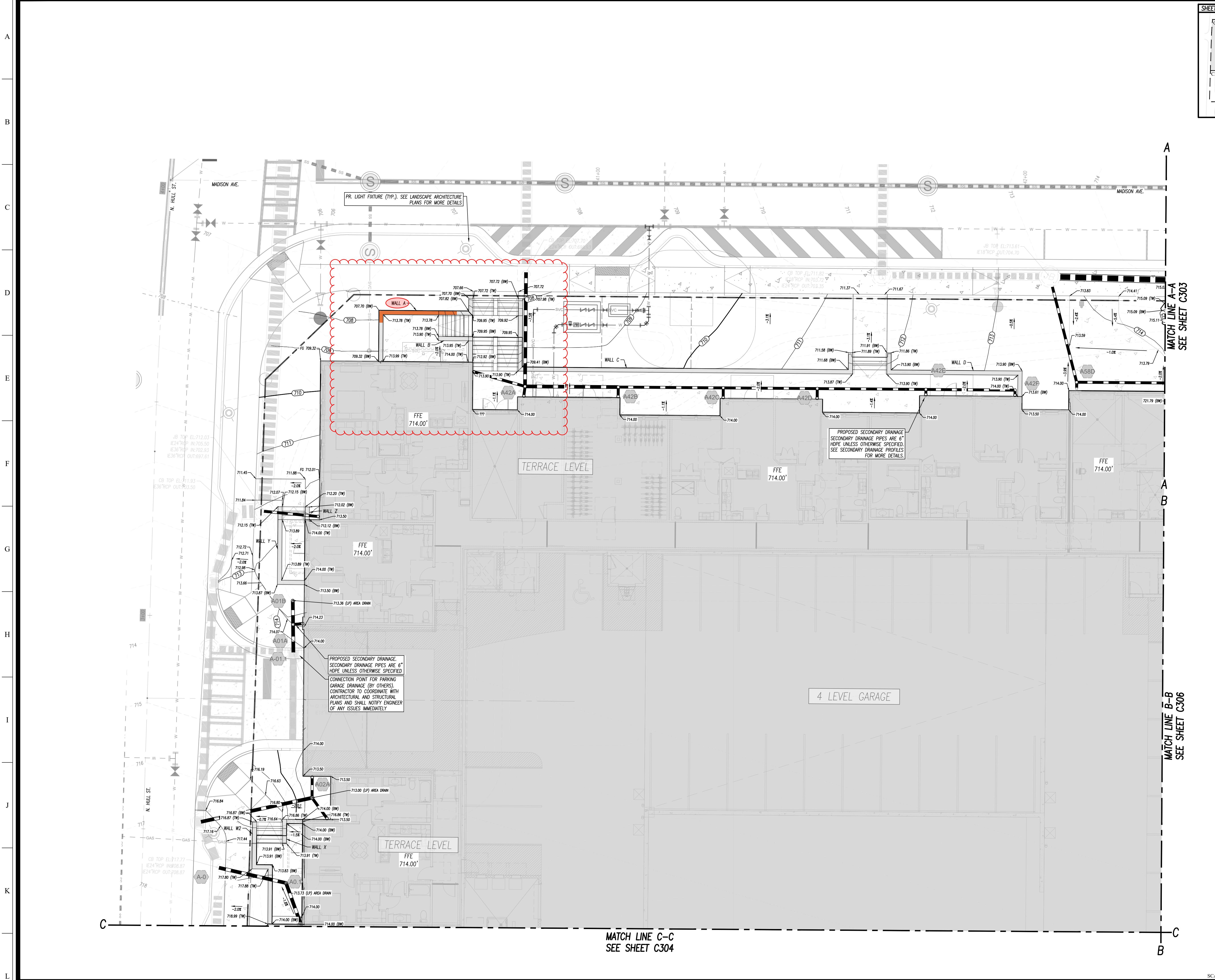


W&A PROJECT #:

GRADING & DRAINAGE

PLAN (OVERALL)

C301



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# BETHEL MIDTOWN VILLAGE PHASE 2 VERTICAL

ATHENS-CLARKE COUNTY, GEORGIA

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530 N HULL STREET - 3.61 ACRES

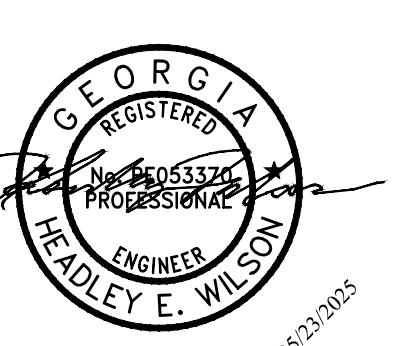


## REVISIONS

ATE	COMMENT
14/25	PER ACC COMMENT
09/25	PER ACC COMMENT
23/25	PER ACC COMMENT

## FOR REVIEW

INITIAL SUB. DATE: 01/17/2025



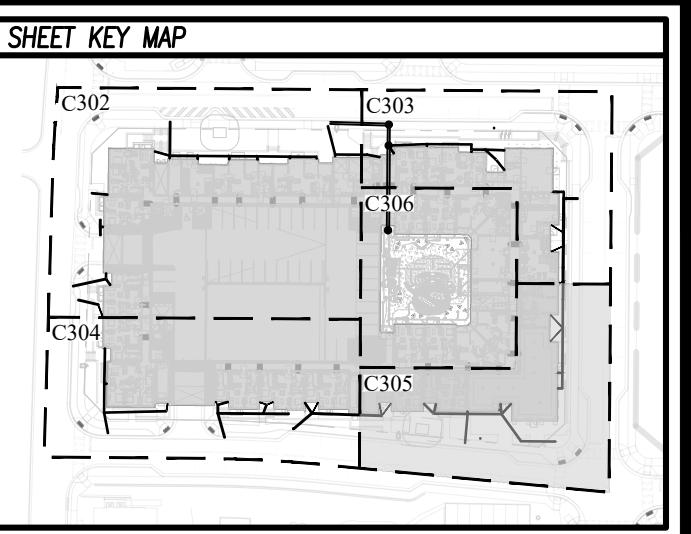
&A PROJECT #: 230216

# GRADING & DRAINAGE PLAN (A)

# C302





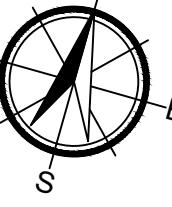


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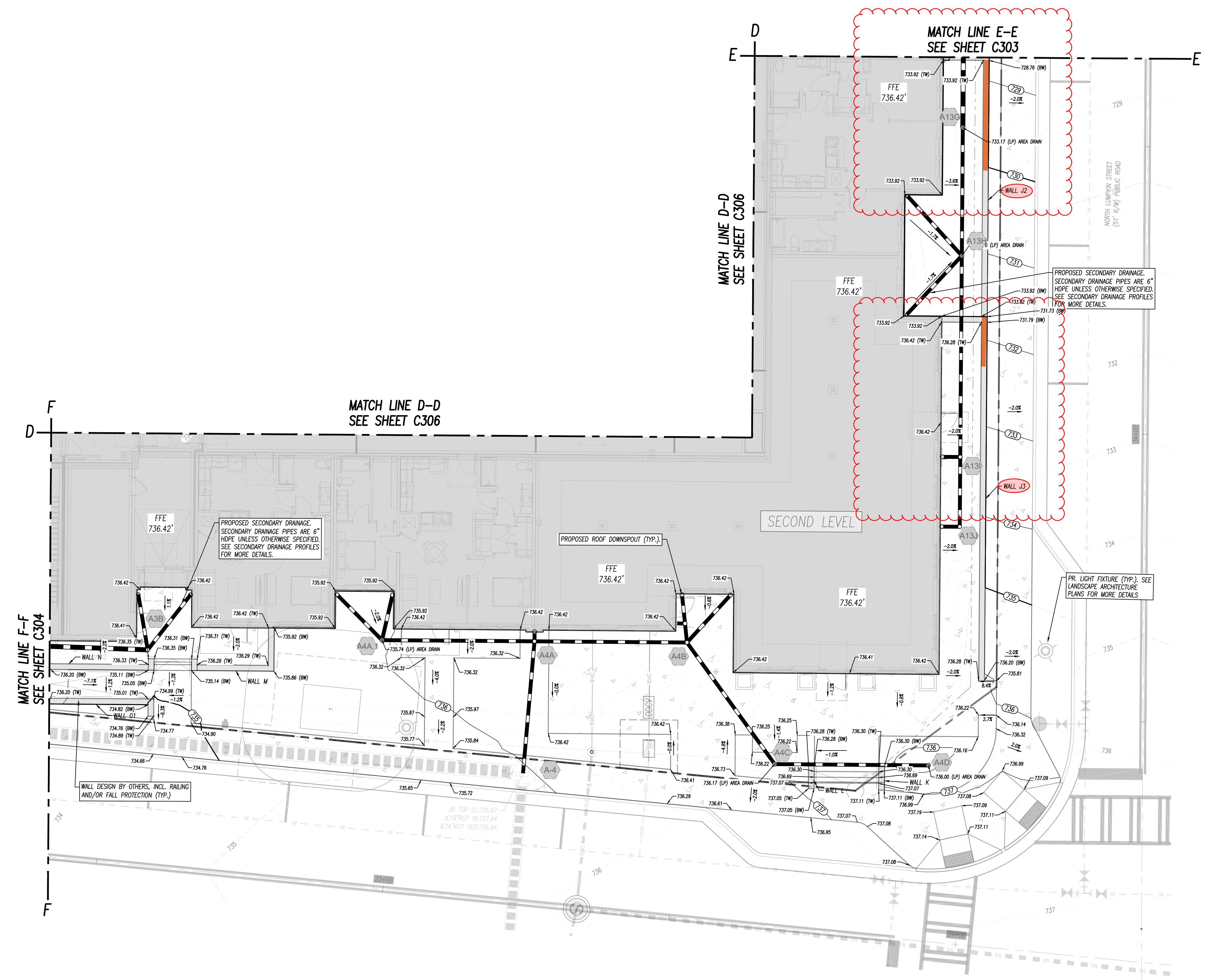
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## BETHEL MIDTOWN VILLAGE PHASE 2 VERTICAL

ATHENS-CLARKE COUNTY, GEORGIA  
530 NHULL STREET - 3.61 ACRES



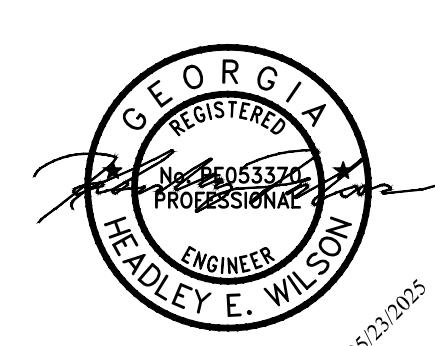
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05/23/25	PER ACC COMMENT

### FOR REVIEW

INITIAL SUB. DATE: 01/17/2025  
ISSUANCE DATE: 05/23/2025

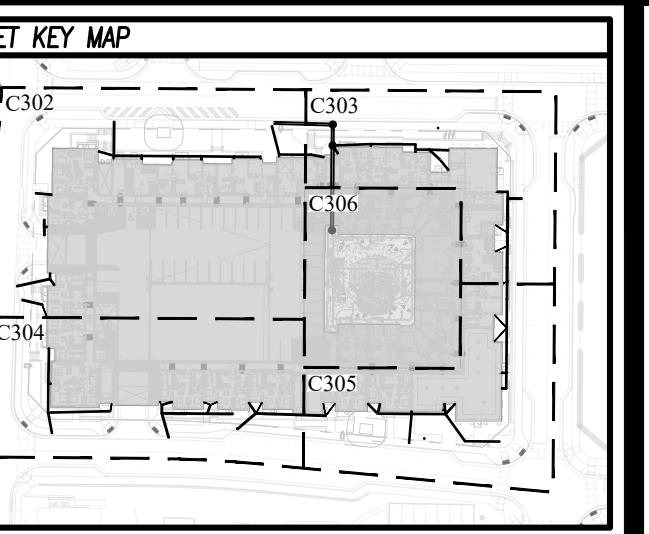


W&A PROJECT #: 230216

GRADING &  
DRAINAGE PLAN (D)

**C305**

SCALE 1" = 10'

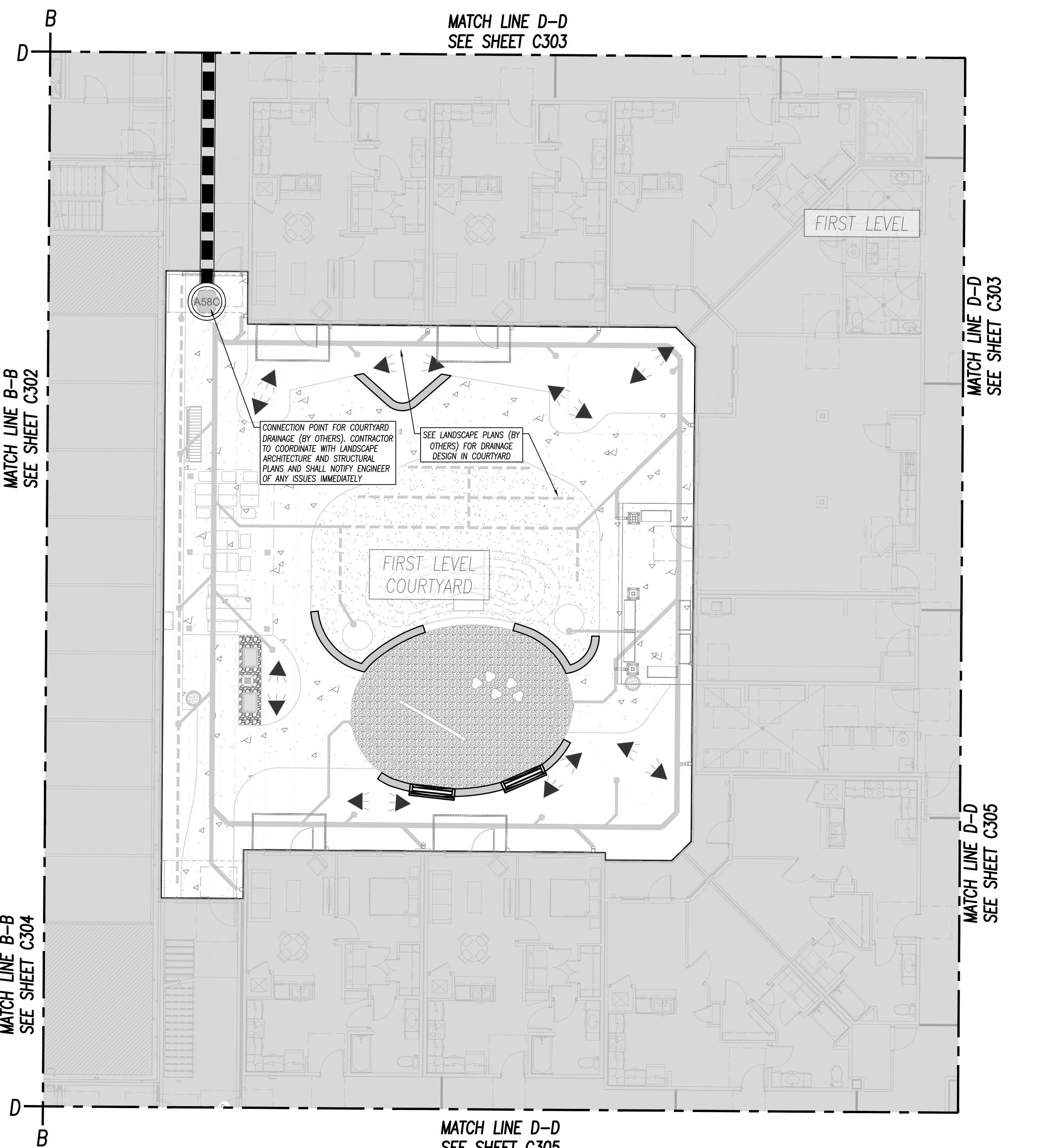
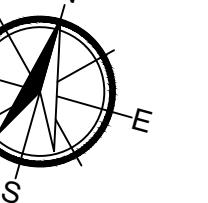


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## BETHEL MIDTOWN VILLAGE PHASE 2 VERTICAL

ATHENS-CLARKE COUNTY, GEORGIA  
530 N HULL STREET - 3.61 ACRES

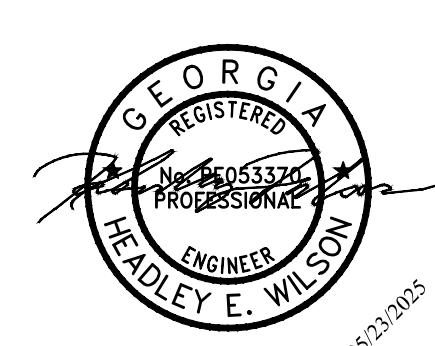
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05/23/25	PER ACC COMMENT

### FOR REVIEW

INITIAL SUB. DATE: 01/17/2025  
ISSUANCE DATE: 05/23/2025



W&A PROJECT #: 230216

GRADING &  
DRAINAGE PLAN (E)

**C306**

SCALE 1" = 10'-0"