



Date: 05/30/2025
Drawn by: MA / JB / GJ
Reviewed by: JG
Job Number: 240305

Issued for: Date:

NORTH ATHENS PHASE 2
530 N Hull Street, Athens - Clarke County, GA, 30601
COLUMBIA RESIDENTIAL
1718 Peachtree Street, Suite 684, South Tower, Atlanta, GA 30309

ALTERNATIVE COMPLIANCE
COVER SHEET

NOT FOR
CONSTRUCTION

Sheet Number:
LC000

NORTH ATHENS PHASE 2

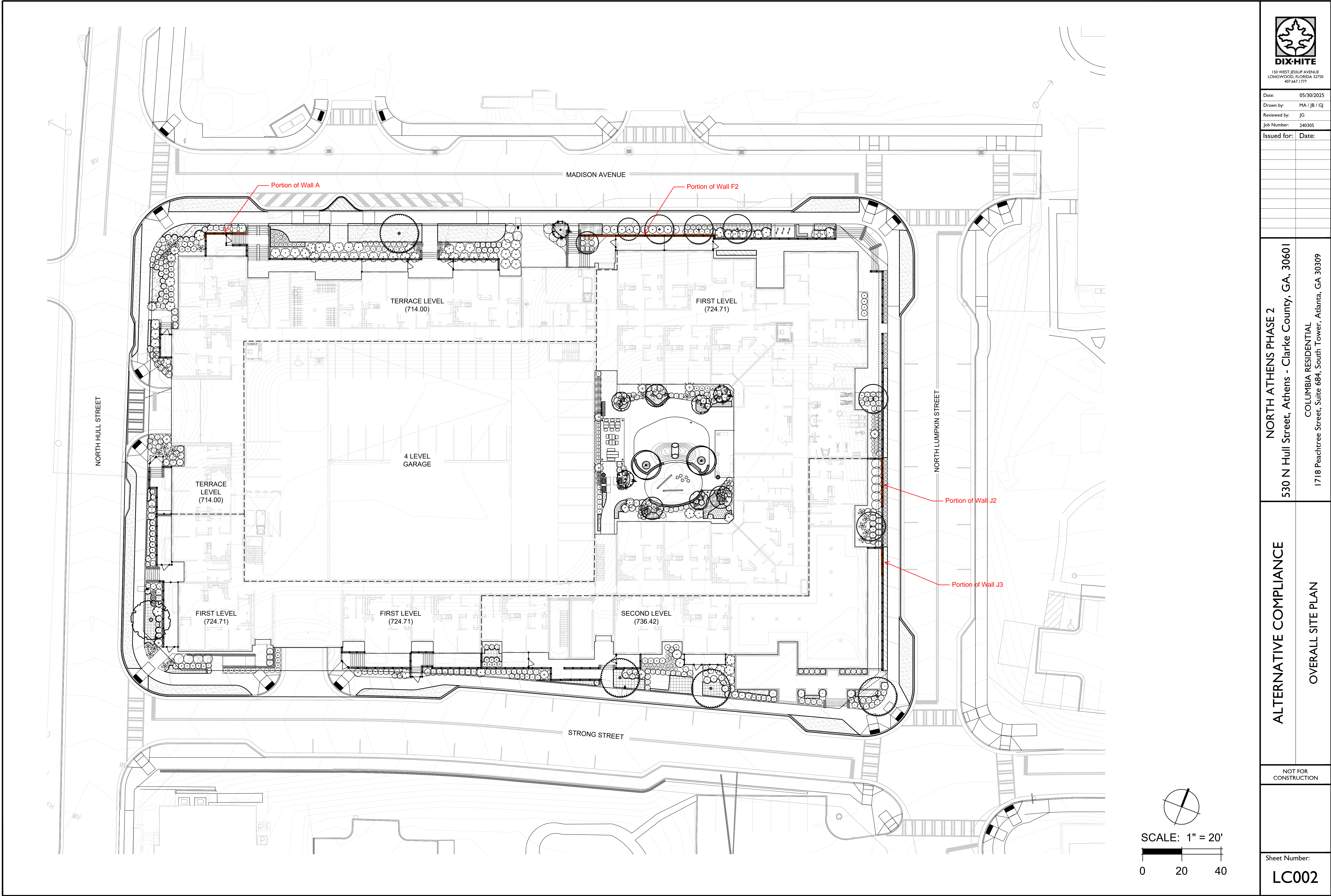
ALTERNATIVE COMPLIANCE

MAY 30, 2025

Prepared For
COLUMBIA RESIDENTIAL

Sheet List Table

Sheet Number	Sheet Title
LC000	COVER SHEET
LC002	OVERALL SITE PLAN
LC510	WALL A
LC511	WALL F2
LC512	WALL J2 & J3



DIX-HITE

150 WEST JESSUP AVENUE
LONGWOOD, FLORIDA 32750
407.667.1777

Date: 05/30/2025

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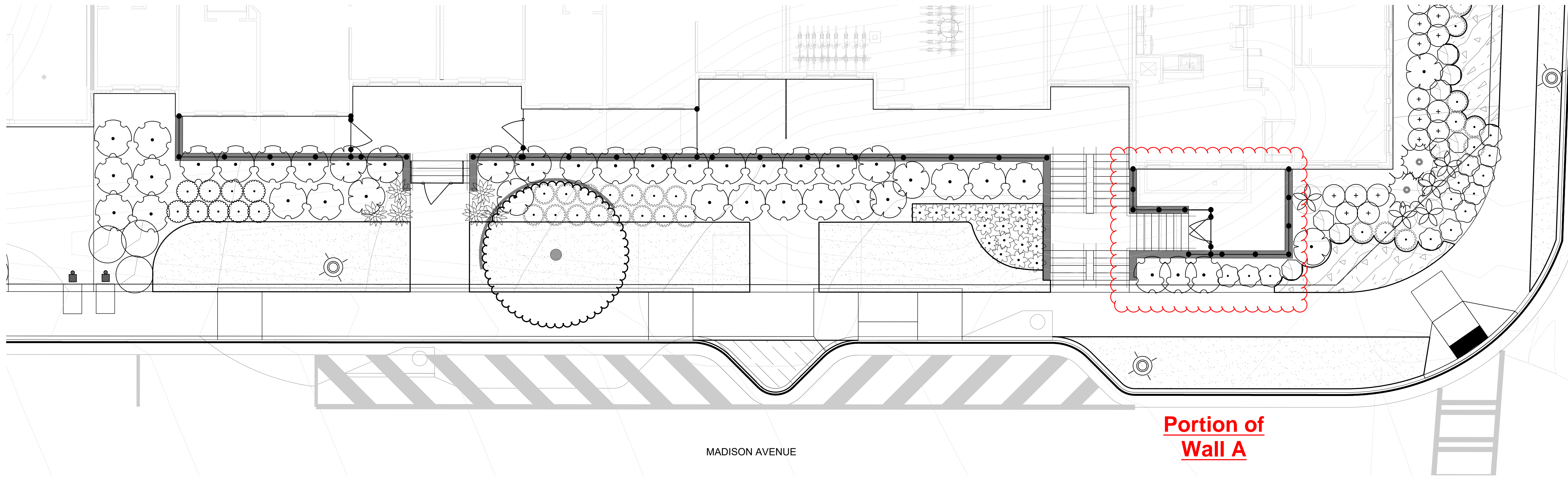
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ALTERNATIVE COMPLIANCE
OVERALL SITE PLAN

NOT FOR
CONSTRUCTION

Sheet Number:

LC002



PLAN VIEW



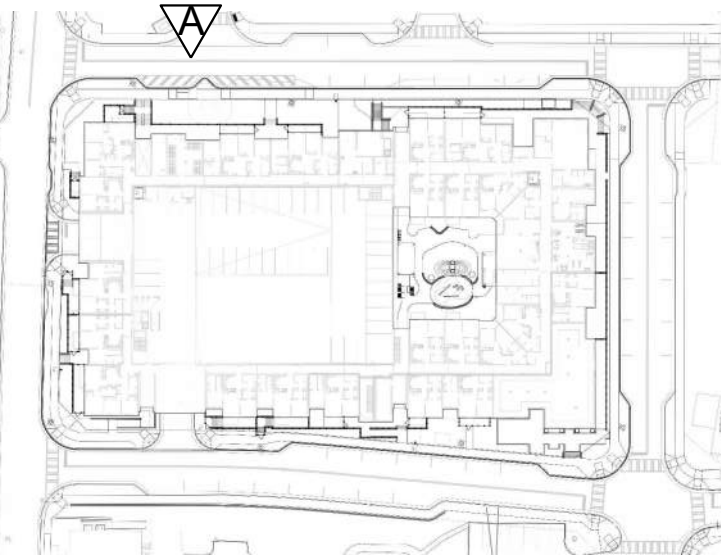
ELEVATION

ELEVATION 'A'

1/8" = 1'-0"

- T.O. PLATE 152'-11"
- T.O. PARAPET 148'-11"
- FIFTH FLOOR 143'-10"
- T.O. PLATE 142'-2 1/2"
- FOURTH FLOOR 133'-1 1/2"
- THIRD FLOOR 122'-5"
- SECOND FLOOR 111'-8 1/2"
- FIRST FLOOR 100'
- TERRACE 89'-3 1/2"

KEY PLAN



Date: 05/30/2025
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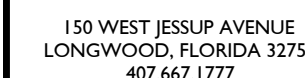
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ALTERNATIVE COMPLIANCE

WALL A

NOT FOR CONSTRUCTION

Sheet Number:
LC510



Date: 10/23/24

Drawn by: MA

Reviewed by: |G

Job Number: 240704

Issued for:	Date:
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ALTON PALMETTO APARTMENTS
Manatee County, Florida

KOLTER MULTIFAMILY, LLC
105 NE 1st Street Delray Beach, Florida 33444

CODE LANDSCAPE PLANS

WALL F2

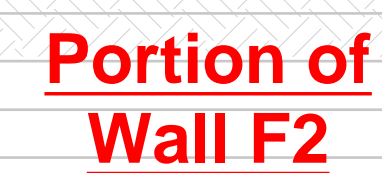
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Sheet Number:

LC511



PLAN VIEW

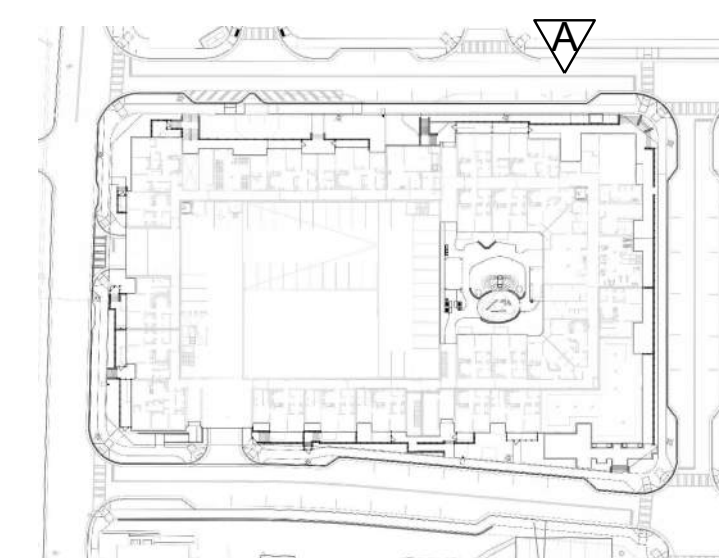


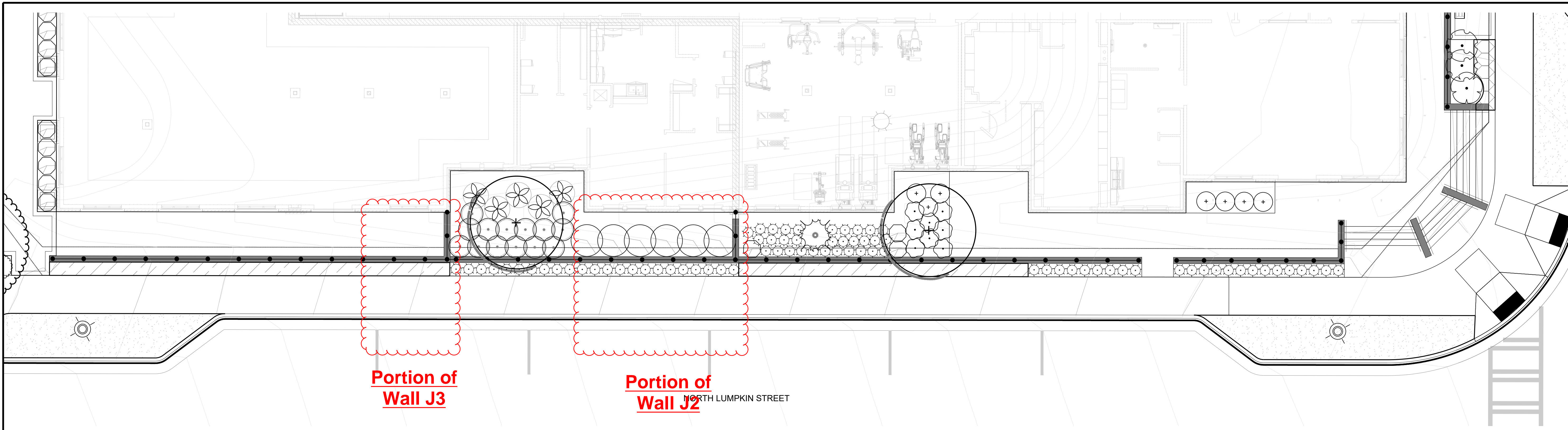
ELEVATION

ELEVATION 'A'

$$1/8'' = 1'-0''$$


KEY PLAN





PLAN VIEW



FFE 736.42 735.90 733.90 731.90 729.90 727.90 725.90 723.90 721.90 719.90 717.90 715.90

FFE 724.71 723.90 721.90 719.90 717.90 715.90

ELEVATION

ELEVATION 'B'

I.O. PARAPET
161'-11"

T.O. PARAPET
159'-11"

T.O. PARAPET
157'-11"

T.O. PLATE
152'-11"

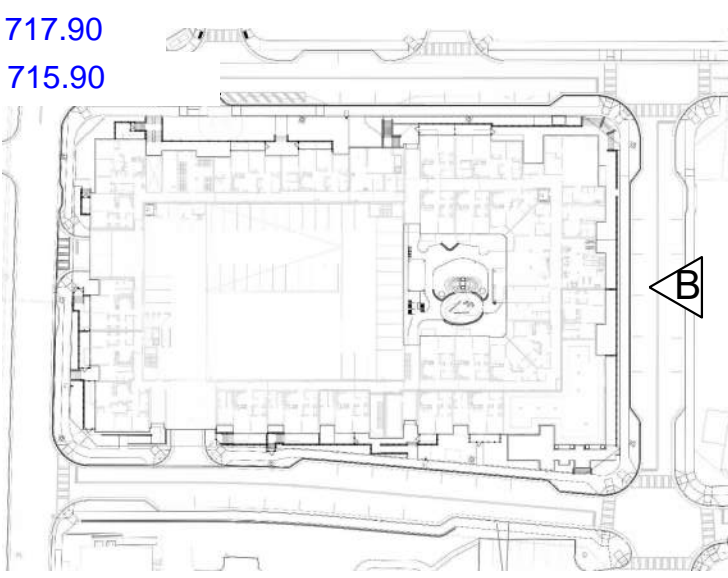
FIFTH FLOOR
143'-10"

FOURTH FLOOR
133'-1 1/2"

THIRD FLOOR
122'-5"

SECOND FLOOR
111'-8 1/2"

FIRST FLOOR
100'



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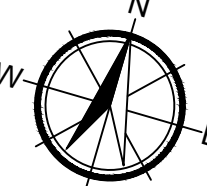
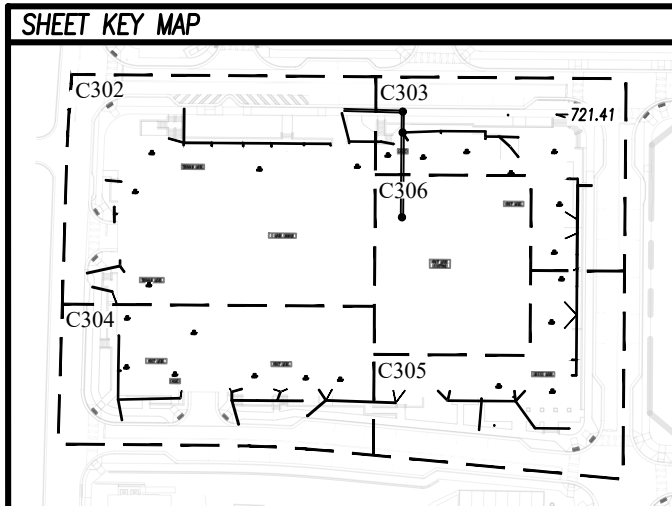
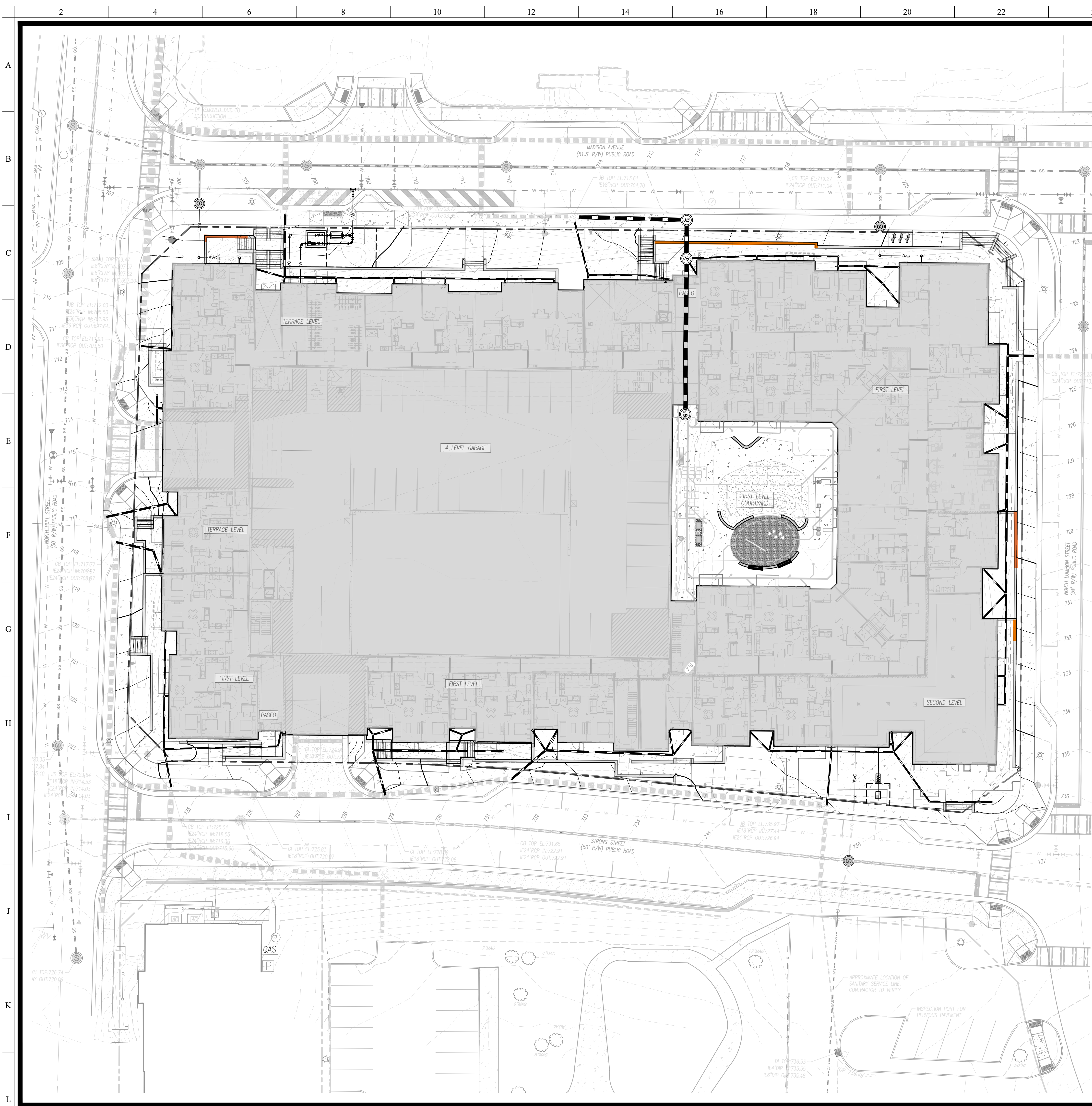
ALTERNATIVE COMPLIANCE

WALL J2 & J3

NOT FOR CONSTRUCTION

Sheet Number:

LC512



LEGEND

---	PROJECT PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	PR. LOT LINE
---	FUTURE R/W LINE
---	EASEMENT
---	EX. MAJOR CONTOUR LINE
---	EX. MINOR CONTOUR LINE
---	PR. MAJOR CONTOUR
---	PR. MINOR CONTOUR
---	STORMWATER FACILITY
---	STORM PIPE
---	DROP INLET
---	SINGLE WING CB
---	WEIR INLET
---	MEDIAN INLET
---	JUNCTION BOX
---	GRATED CURB INLET
---	DOUBLE WING CB
---	HEADWALL

GRADING NOTES

- THESE NOTES ARE FOR GRADING AND DRAINAGE PURPOSES ONLY.
- THE CONTRACTOR SHALL ADHERE TO:
 - ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA
 - ALL "GOVERNING AGENCY" ORDINANCES AND DEVELOPMENT REQUIREMENTS AS DEFINED BY GOVERNING AGENCIES RULES AND REGULATIONS.
- SITE CLEARING AND GRADING SHALL NOT PROCEED UNTIL 14 DAYS AFTER AN NOI HAS BEEN FILED WITH THE GEORGIA EPD.
- TREES, STUMPS, ROOTS, DEBRIS, JUNK, AND OTHERWISE DELETERIOUS MATERIAL SHALL NOT BE BURIED OR DEPOSED OF ON SITE.
- ALL RETAINING WALLS SHALL BE PROTECTED DURING CONSTRUCTION BY THE CONTRACTOR. THIS INCLUDES BUT IS NOT LIMITED TO, PROVIDING AND INSTALLING PROPER BRACING DURING BACKFILL BEING PLACED ADJACENT TO RETAINING WALLS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- THE CONTRACTOR SHALL REVIEW AND INCORPORATE RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT.
- ALL FILL AREAS SHALL BE BROUGHT TO SPECIFIED COMPACTION AND SUBGRADE ELEVATIONS PRIOR TO SANITARY SEWER, STORM DRAINAGE, OR WATERLINE INSTALLATION.
- UNDERCUTTING IS REQUIRED IN ALL AREAS WHERE MATERIALS ARE DETERMINED TO BE UNSUITABLE FOR STRUCTURAL BACKFILL MATERIAL.
- SUITABILITY OF FILL AND/OR BACKFILL MATERIAL TO BE DETERMINED BY MATERIALS TESTING OR GEOTECHNICAL CONSULTANT.
- THE FOLLOWING COMPACTION RATES SHALL APPLY UNLESS OTHERWISE SPECIFIED IN A SEALED GEOTECHNICAL REPORT:
 - ALL FILL MATERIAL IN THE PROPOSED BUILDING AREAS AND UNDERNEATH ALL FOOTINGS IS TO BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.
 - ALL FILL MATERIAL IN THE PAVED AREAS TO BE COMPACTED TO 98% OF THE STANDARD PROCTOR DENSITY.
 - ALL OTHER STRUCTURAL FILL AREAS TO BE COMPACTED TO 95% OF THE STANDARD PROCTOR DENSITY.
- COMPACTION SHALL BE VERIFIED BY AN APPROVED TESTING AGENT PRIOR TO UTILITY INSTALLATION.
- ALL AREAS TO BE GRADED ARE TO BE CLEARED AND HAVE TOPSOIL REMOVED AND STOCKPILED. LANDSCAPE AREAS SHALL BE SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING TOPSOIL.
- ALL AREAS DISTURBED BY GRADING OPERATIONS AND NOT DESIGNATED TO HAVE PERMANENT LANDSCAPING OR IMPERVIOUS COVER SHALL RECEIVE 4 INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES INDICATED ON THE EROSION CONTROL PLANS. SEE LANDSCAPE PLANS FOR MORE DETAILS.
- ALL DISCREPANCIES IN THE EXISTING OR PROPOSED GRADING PLAN SHALL BE REPORTED TO W&A ENGINEERING IMMEDIATELY, PRIOR TO PROCEEDING WITH GRADING ACTIVITIES.
- THE CONTRACTOR SHALL GRADE ALL CUT OR FILL SLOPES AS SHOWN ON PLANS BUT SHALL NOT EXCEED A MAXIMUM OF 3" HORIZONTAL TO 1" VERTICAL UNLESS OTHERWISE NOTED.
- ALL CONTOURS AND SPOT ELEVATIONS ARE RELATIVE TO PROJECT BENCHMARKS.
- GRADES SHOWN HEREON ARE FINISHED GRADES. ALL SPOT ELEVATIONS ARE AT FINISHED GRADE. ALL SPOT ELEVATIONS ARE TO GUTTER LINE OR BOTTOM OF CURB UNLESS OTHERWISE NOTED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SUBGRADES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM BUILDING(S).
- ANY PERVIOUS CONCRETE PAVEMENT CONSTRUCTION, AS SHOWN ON PLANS, SHALL NOT BEGIN UNTIL THE CONTRIBUTING DRAINAGE AREA IS COMPLETELY STABILIZED.
- A COMPLETE TOPOGRAPHIC AS-BUILT SURVEY OF THE ENTIRE SITE, INCLUDING THE STORM SEWER AND STORMWATER MANAGEMENT SYSTEM, DEMONSTRATING IT WAS BUILT AND WILL FUNCTION ACCORDING TO DESIGN, AND CERTIFIED BY A PROFESSIONAL ENGINEER IS REQUIRED PRIOR TO APPROVAL OF A FINAL PLAN OR THE RELEASE OF ANY CERTIFICATE OF OCCUPANCY. (A-C)
- ALL STORMWATER STRUCTURES REQUIRING MANHOLE ACCESS SHALL BE PROVIDED WITH A-C-C STORMWATER MANHOLE COVERS PER THE ACC STANDARD DETAIL.

GRADING ABBREVIATIONS

BC	BOTTOM OF CURB	P	PAVEMENT
EW	BOTTOM GRADE AT WALL	TC	TOP OF CURB
HP	HIGH POINT	TW	TOP GRADE AT WALL
LP	LOW POINT		

STORM DRAINAGE NOTES

- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND INVERTS OF EXISTING STORM DRAIN LINES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO W&A ENGINEERING.
- EXISTING DRAINAGE STRUCTURES ARE TO BE INSPECTED AND REPAIRED AS NEEDED. CONTRACTOR IS RESPONSIBLE FOR CLEARING DEBRIS FROM EXISTING PIPES AND THE COST SHALL BE INCLUDED IN BASE BID.
- IT IS THE CONTRACTORS RESPONSIBILITY TO RAISE AND LOWER ALL INLETS AND TOPS TO MATCH FINAL GRADES AND TO ENSURE THAT ALL INLETS FUNCTION PROPERLY WITH NO PONDING IN THE DRAINAGE AREA. ANY DRAINAGE AREAS THAT DO NOT FUNCTION PROPERLY SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL STORMWATER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE GRADE AND LIDS SHALL BE LABELED "STORM SEWER".
- CONCRETE RISERS ARE TO BE USED IN PAVED AREAS UNLESS OTHERWISE SPECIFIED.
- ALL CAST-IN-PLACE CONCRETE DRAINAGE STRUCTURES SHALL BE CONSTRUCTED USING GOOD CLASS A CONCRETE - SECTION 500.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- ALL PRECAST CONCRETE STRUCTURES SHALL CONFORM WITH ASTM C-478 WITH MINIMUM F=4000 PSI.
- ALL PIPE LENGTHS ARE MEASURED TO THE CENTER OF THE STRUCTURE.
- A MINIMUM OF 1.0% SLOPE FOR STORM PIPES IS REQUIRED, UNLESS SPECIFICALLY NOTED.
- ALL STORMWATER PIPE ENTERING STORMWATER STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT THE STRUCTURE IS WATERTIGHT AND SHALL HAVE A SMOOTH UNIFORM PAVED MORTAR INVERT FROM INVERT-IN TO INVERT OUT.
- ALL STORM SEWER TRENCHING SHALL BE BACKFILLED PER THE PROJECT SITE WORK SPECIFICATIONS AND/OR DETAILS.
- ALL STORM DRAINAGE CONSTRUCTION METHODS SHALL CONFORM WITH GOOD STANDARD SPECIFICATION SECTION 550 REINFORCED CONCRETE PIPE (CLASS III) & SECTION 843.01 FINAL FINISHES.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - RCP - REINFORCED CONCRETE PIPE - TYPE 1 PER ASTM C-78, WITH FLEXIBLE PLASTIC BITUMINOUS GASKETS AT JOINTS.
 - FILLS UP TO 15' OVER TOP OF PIPE, CLASS III OR GREATER MAY BE USED.
 - FILLS 15' OVER TOP OF PIPE, CLASS IV OR GREATER MAY BE USED.
 - FILLS GREATER THAN 20' OVER TOP OF PIPE, CLASS V MUST BE USED.
 - ACCP - ALUMINUM COATED CORRUGATED METAL PIPE - 16 GAUGE UNLESS OTHERWISE NOTED.
 - BCMP - BITUMINOUS COATED CORRUGATED METAL PIPE - 16 GAUGE UNLESS OTHERWISE NOTED. MAY BE SUBSTITUTED FOR ACCP AT THE CONTRACTORS DISCRETION - NOTIFY W&A ENGINEERING PRIOR TO SUCH SUBSTITUTION.
 - HDPE - CORRUGATED HIGH DENSITY POLYETHYLENE PIPE - SMOOTH LINED TYPE "S" PIPE, MUST BE INSTALLED IN STRICT COMPLIANCE WITH COUNTY DETAILS AND MANUFACTURER'S RECOMMENDATION. ESPECIALLY IN REGARDS TO SPECIAL BACKFILL AND BEDDING, MAY BE SUBSTITUTED FOR ACCP AT THE CONTRACTORS DISCRETION.
- CORRUGATED METAL PIPE (CMP) AND HIGH DENSITY POLYETHYLENE (HDPE) SHALL BE JOINED BY MANUFACTURER'S RECOMMENDED PIPE BANDING MATERIALS.

ROOF DRAIN NOTES

- ROOF DRAINS TO BE TIED TO THE SECONDARY DRAINAGE SYSTEM VIA PVC OR HDPE STORM LATERALS AS SHOWN ON THE PLANS.
- ROOF DRAIN LAYOUT IS SCHEMATIC IN NATURE. CONTRACTOR TO COORDINATE EXACT LOCATION WITH ARCHITECTURAL PLANS. ALL ROOF AREAS TO DRAIN TO STORMWATER MANAGEMENT SYSTEM. ANY DISCREPANCIES TO BE REPORTED TO ARCHITECT AND ENGINEER IMMEDIATELY.

SITE DRAINAGE

CONCRETE CURB AND GUTTER AND COUNTY APPROVED PIPE WILL BE EMPLOYED TO COLLECT AND DIVERST SURFACE WATER TO THE EXISTING STORM WATER PIPE NETWORK AND STORMWATER MANAGEMENT FACILITY.

SECONDARY DRAINAGE NOTES

- SECONDARY DRAINAGE SYSTEM TO BE TIED TO THE EXISTING STORM SEWER SYSTEM AS SHOWN ON THE PLANS.
- ROOF DRAIN LATERALS TO BE CONNECTED TO SECONDARY DRAINAGE SYSTEM AS SHOWN ON PLANS.
- SECONDARY DRAINAGE PIPES ARE 6" HDPE UNLESS OTHERWISE SPECIFIED.
- SECONDARY DRAINAGE SYSTEM TO HAVE TEES, BEND, OR WYES AT CHANGES IN DIRECTION UNLESS SPECIFIED TO BE A STRUCTURE.
- STRUCTURES AT LOW POINTS ARE TO HAVE AN 8" FLAT GRADE TOP IF LOCATED IN PAVEMENT OR AN 8" DOME GRADE IF LOCATED IN LANDSCAPED AREA. STRUCTURES TO HAVE SOLID TOP WHERE INLET IS NOT SPECIFIED.
- SECONDARY DRAINAGE SYSTEM TO MAINTAIN A MINIMUM OF 1.00% SLOPE AND MINIMUM 3" COVER UNLESS SPECIFIED OTHERWISE.
- SECONDARY DRAINAGE LAYOUT IS SCHEMATIC IN NATURE. CONTRACTOR TO COORDINATE EXACT LOCATION WITH ARCHITECTURAL & STRUCTURAL PLANS. ANY DISCREPANCIES TO BE REPORTED TO ARCHITECT AND ENGINEER IMMEDIATELY.

FOR SURVEYING & STAKING INFORMATION:
CONTACT JOHN BREWER, RLS
Ph: (706) 310-0400 / survey@waengineering.com



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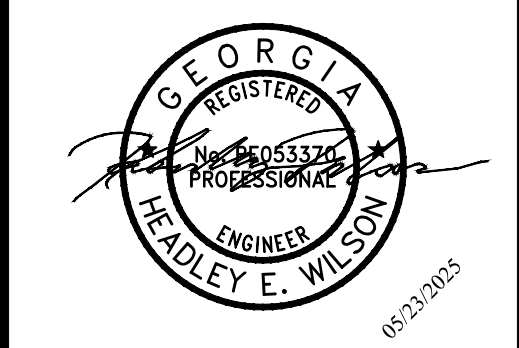
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05/09/25	PER ACC COMMENT
05/23/25	PER ACC COMMENT

FOR REVIEW

INITIAL SUB. DATE: 01/17/2025

ISSUANCE DATE: 05/23/2025

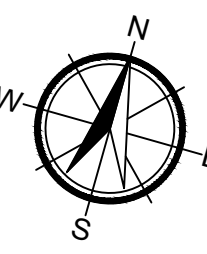
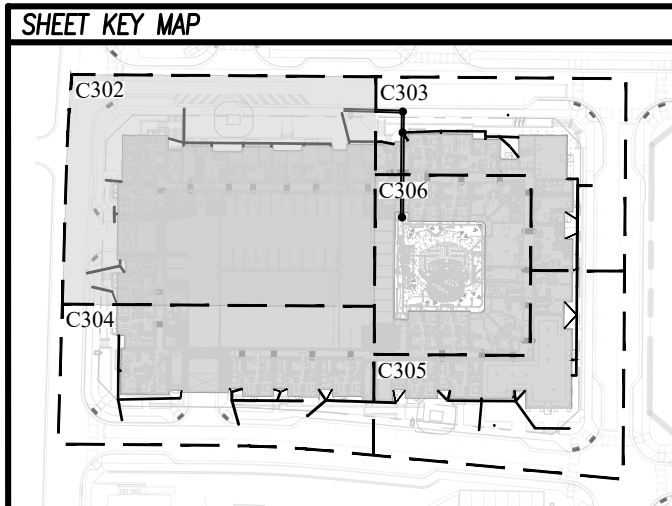
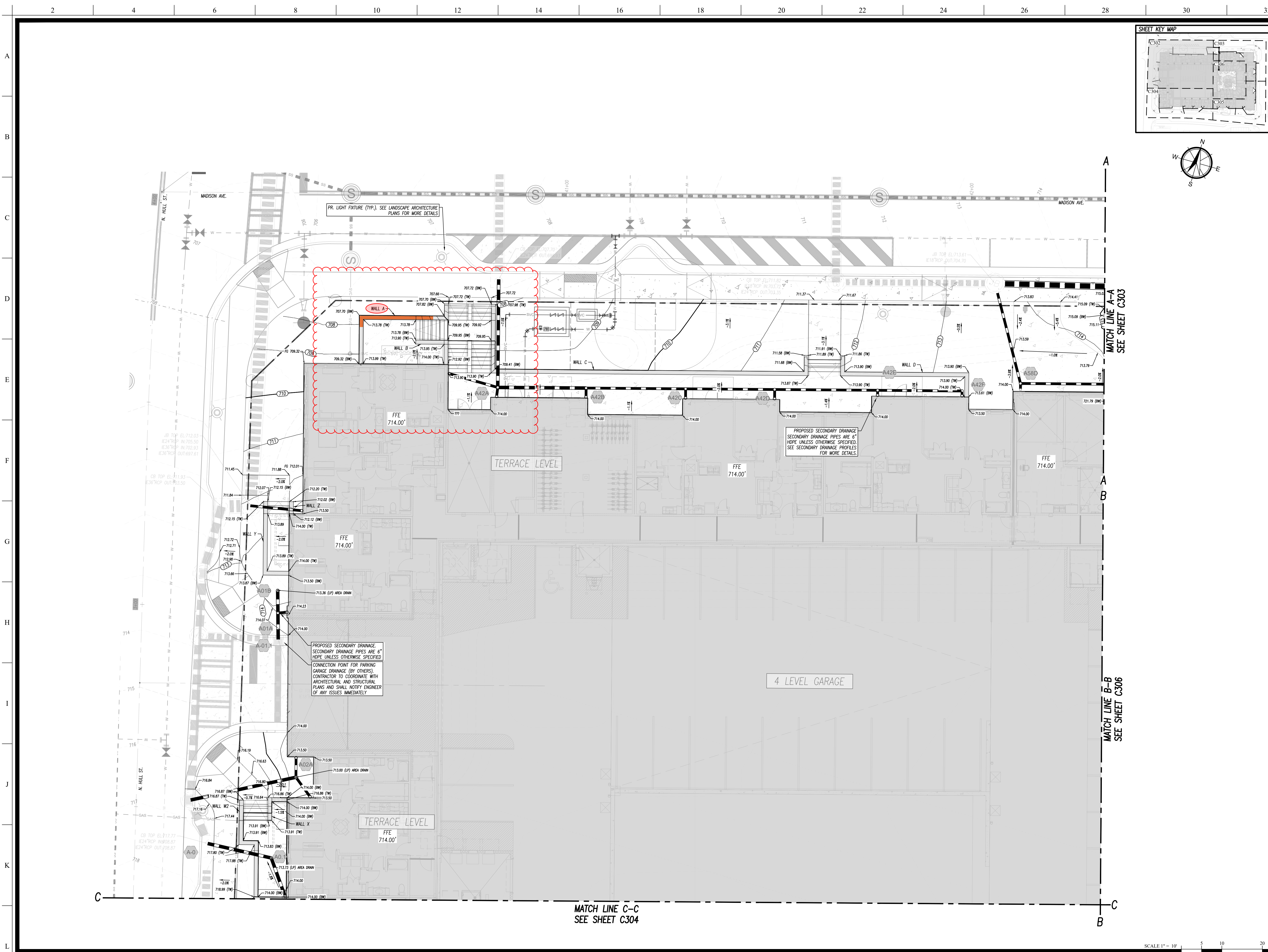


W&A PROJECT #: 230216

GRADING & DRAINAGE
PLAN (OVERALL)

C301

SCALE 1" = 20'



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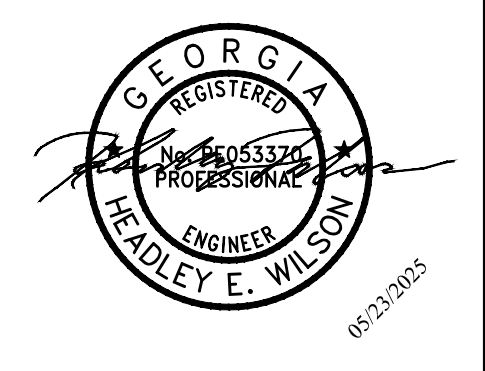
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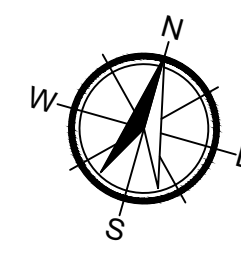
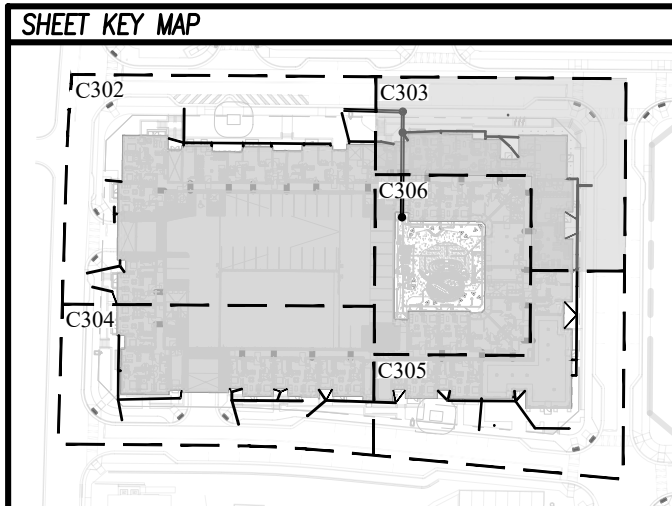
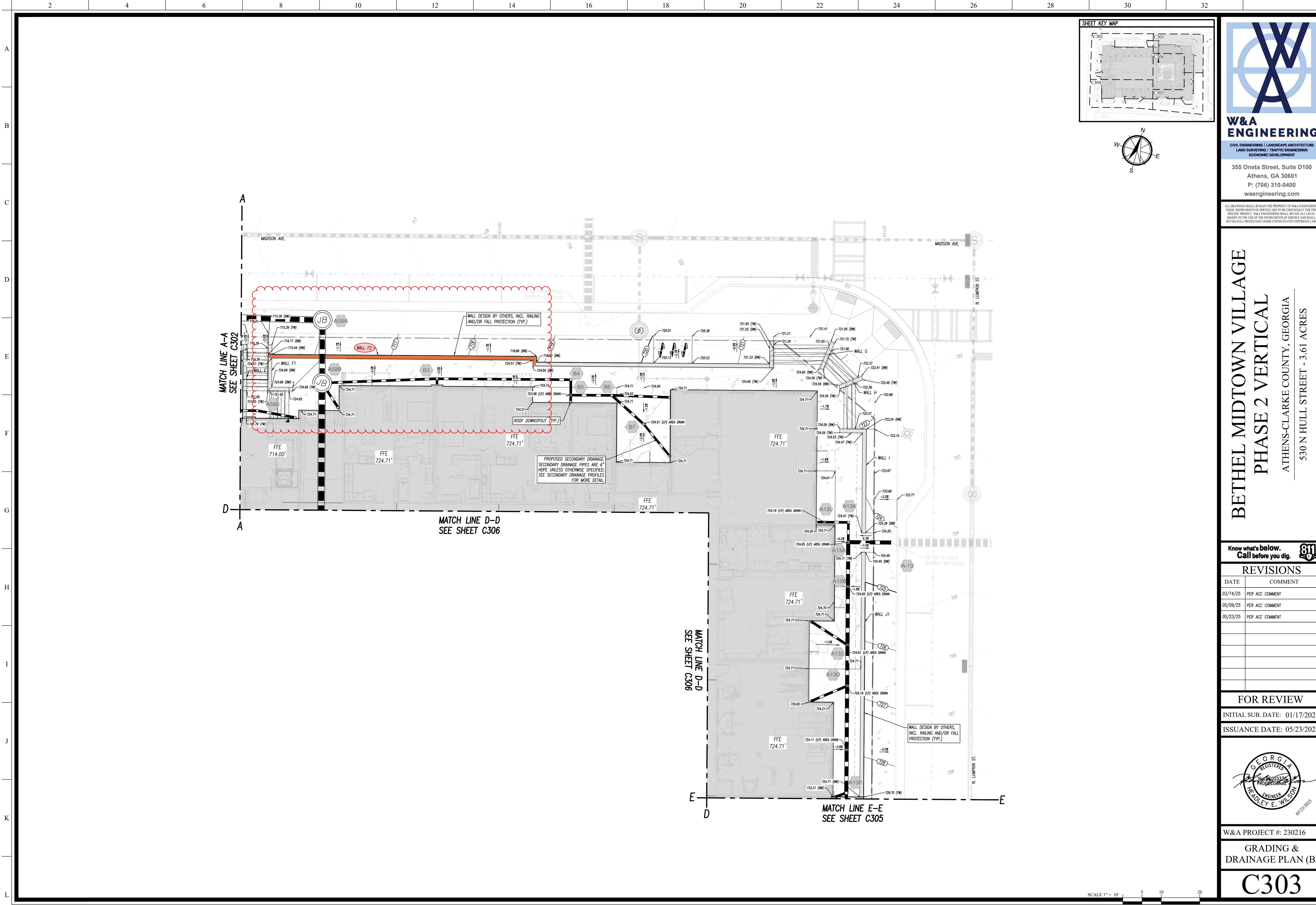
W&A PROJECT #: 230216


GRADING &
DRAINAGE PLAN (A)

C302

SCALE 1" = 10'

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BETHEL MIDTOWN VILLAGE
PHASE 2 VERTICAL
ATHENS-CLARKE COUNTY, GEORGIA
530 N HULL STREET - 3.61 ACRES

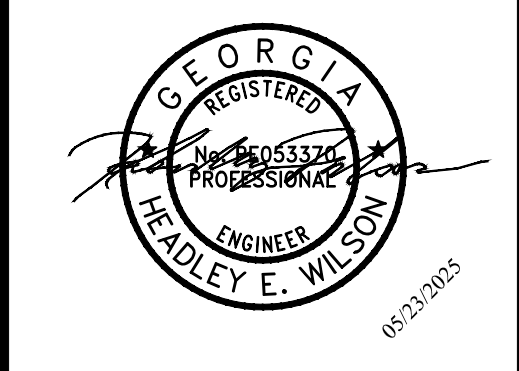
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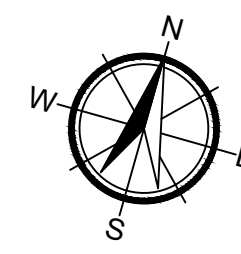
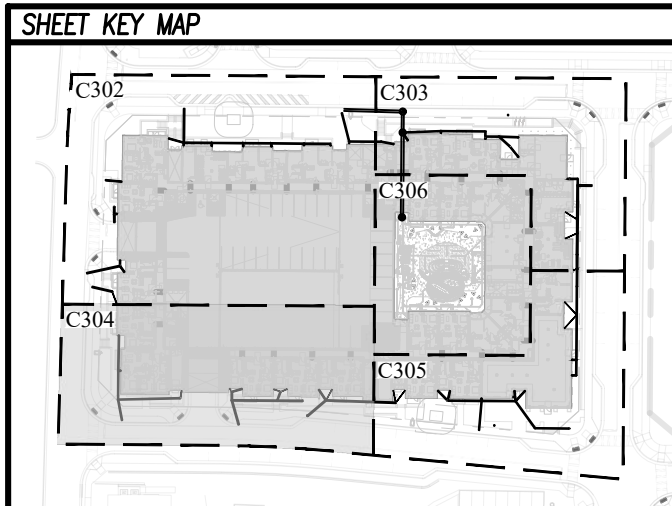
W&A PROJECT #: 230216

GRADING &
DRAINAGE PLAN (B)

C303

SCALE 1" = 10'

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**BETHEL MIDTOWN VILLAGE
PHASE 2 VERTICAL**
ATHENS-CLARKE COUNTY, GEORGIA
530 N HULL STREET - 3.61 ACRES

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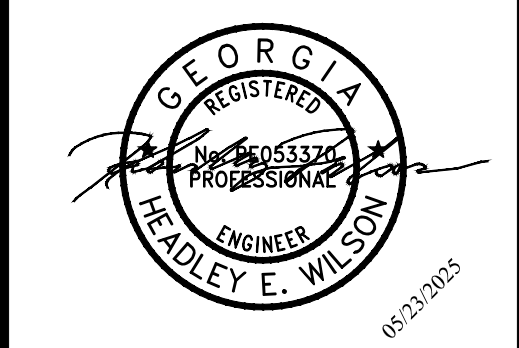
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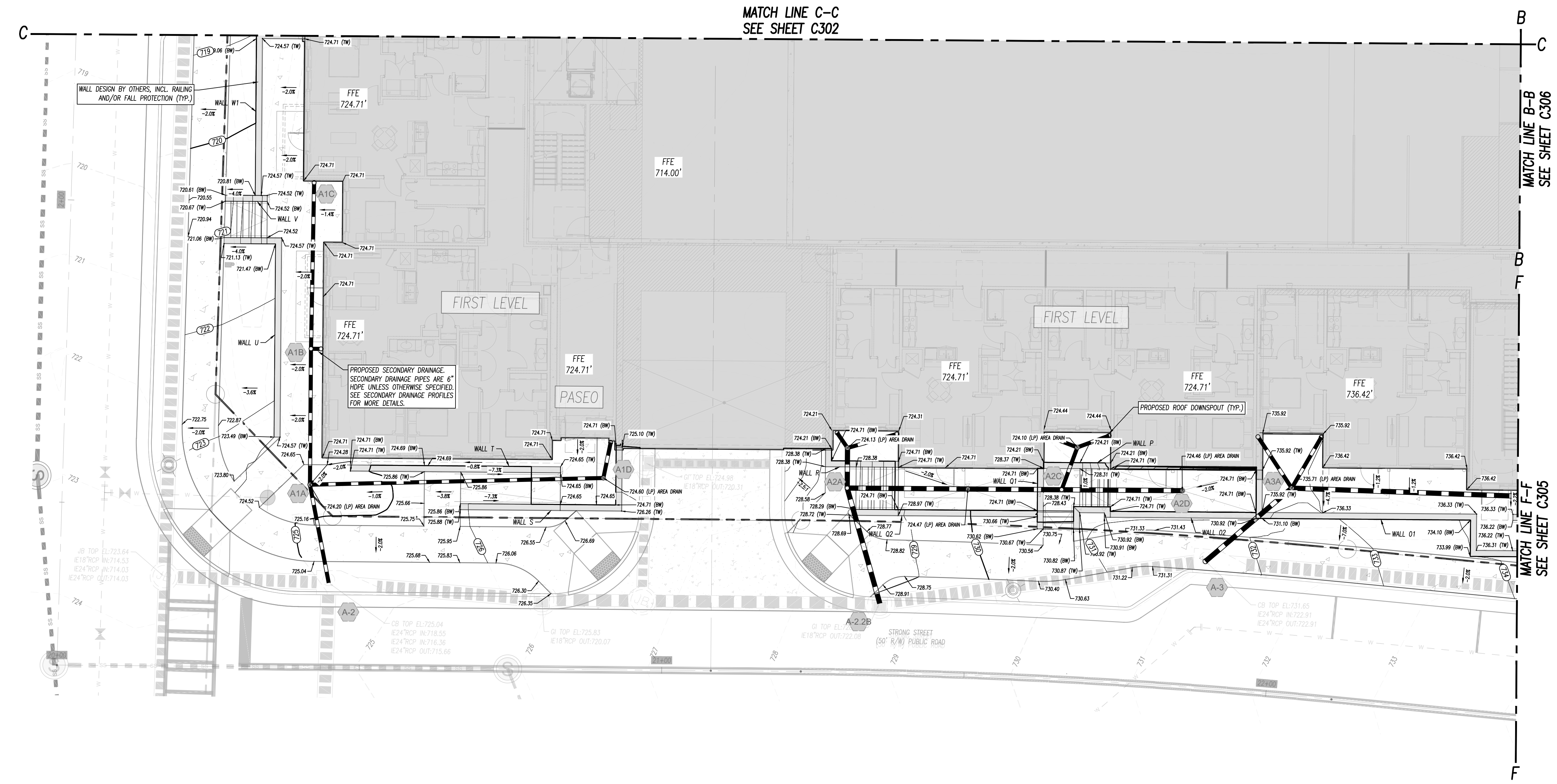
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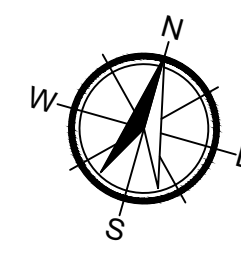
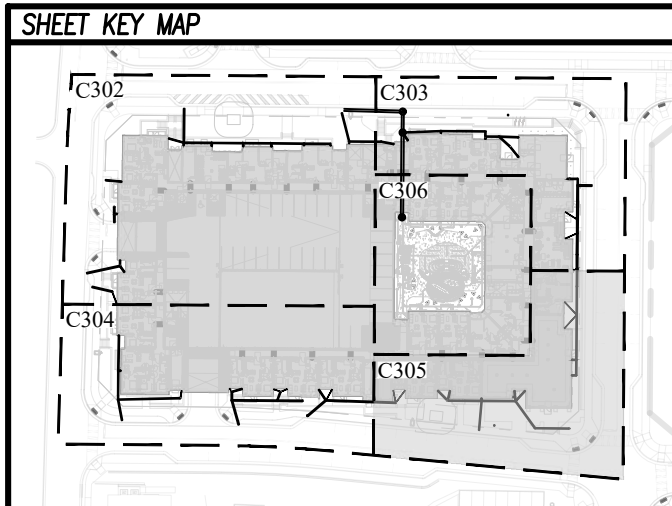
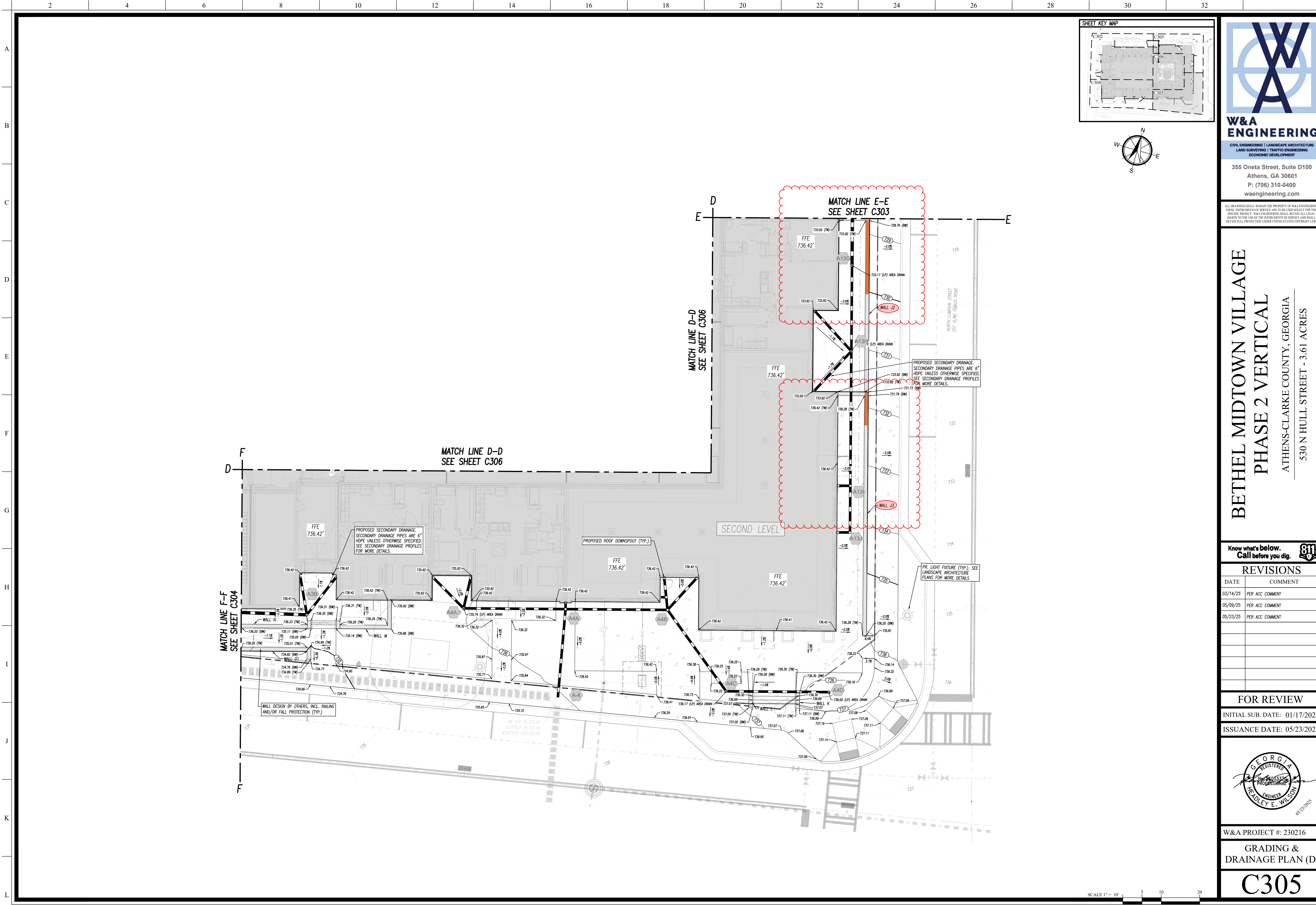


W&A PROJECT #: 230216

**GRADING &
DRAINAGE PLAN (C)**

C304





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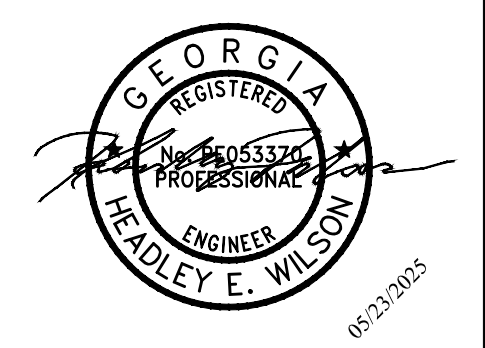
REVISIONS

DATE	COMMENT
03/14/25	PER ACC COMMENT
05/09/25	PER ACC COMMENT
05/23/25	PER ACC COMMENT

FOR REVIEW

INITIAL SUB. DATE: 01/17/2025

ISSUANCE DATE: 05/23/2025



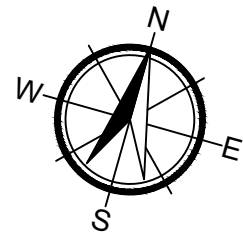
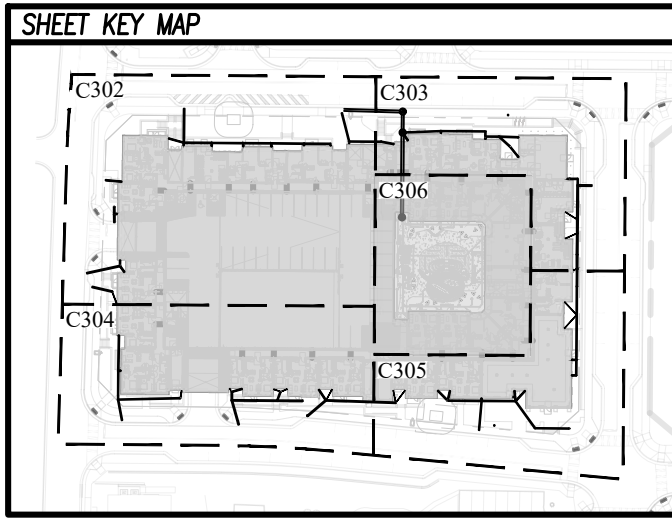
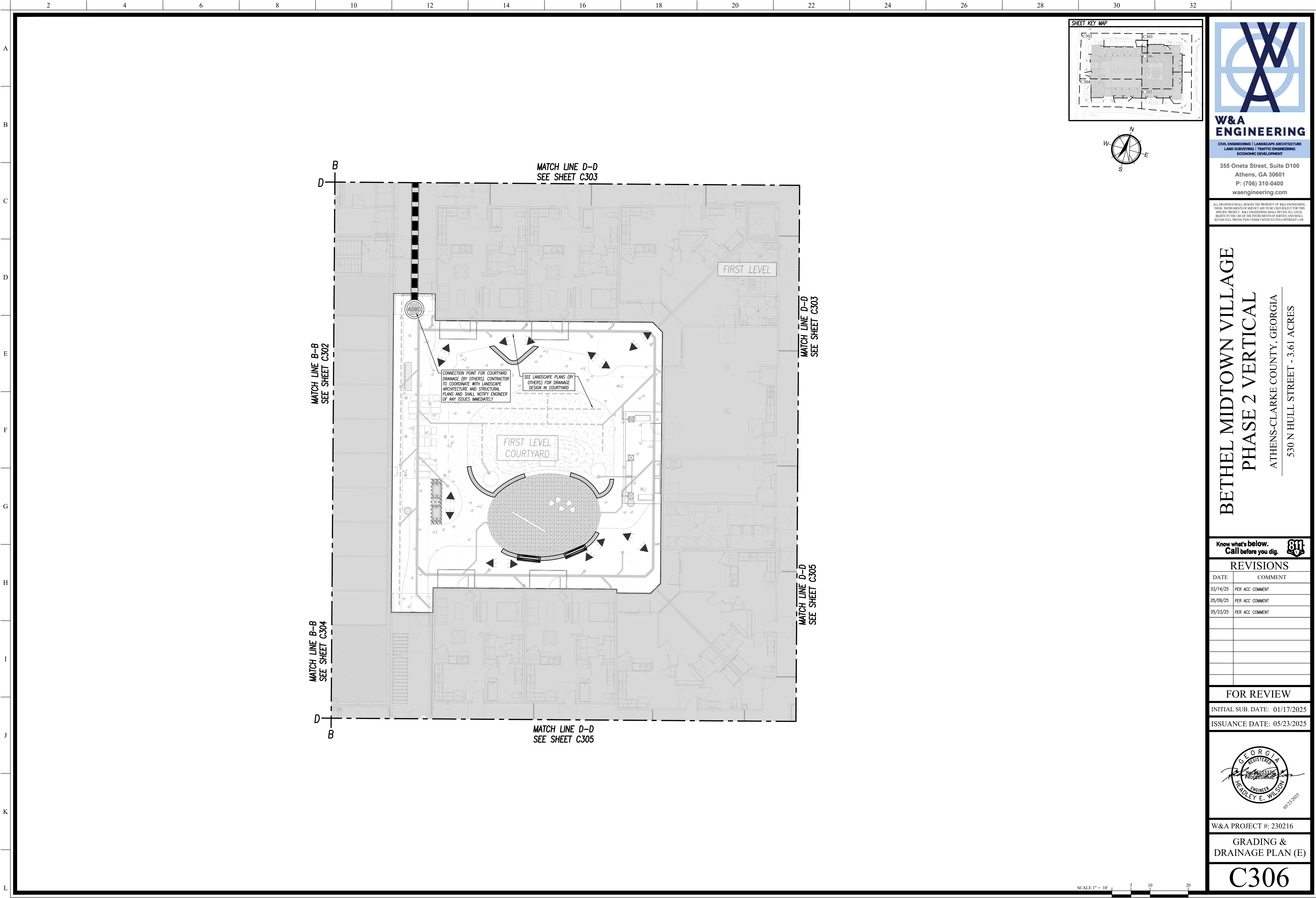
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GRADING &
DRAINAGE PLAN (D)

C305

SCALE 1" = 10'

X:\Projects\2023\230216-Bethel Midtown Village Ph 2\Design Construction-Vertical Site C301-CRAD-230316V.dwg 5/23/25 09:41:45 AM jpopkin



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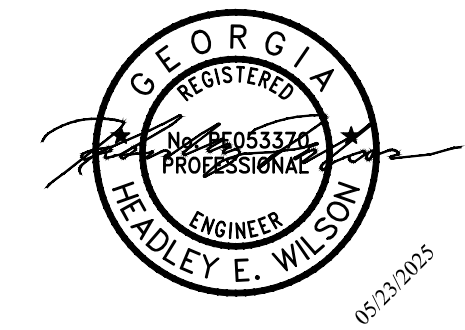
REVISIONS

DATE	COMMENT
03/14/25	PER ACC COMMENT
05/09/25	PER ACC COMMENT
05/23/25	PER ACC COMMENT

FOR REVIEW

INITIAL SUB. DATE: 01/17/2025

ISSUANCE DATE: 05/23/2025



W&A PROJECT #: 230216

**GRADING &
DRAINAGE PLAN (E)**

C306

SCALE 1" = 10' 5 10 20