

ABBREVIATIONS:

AB	ANCHOR BOLT	KO	KNOCK OUT
ADJ	ADJUSTABLE	KD	KNOCK DOWN
AFF	ABOVE FINISH FLOOR	L	LENGTH
ALT	ALTERNATE	LAD	LADDER
ALUM	ALUMINUM	LAM	LAMINATE
ANOD	ANODIZED	LAV	LAVATORY
APPROX	APPROXIMATE	LB	POUND
ARCH	ARCHITECTURAL	LVL	LEVEL
ASP	ASPHALT	LVR	LOUVER
AUTO	AUTOMATIC	LW	LIGHTWEIGHT
BD	BOARD	MACH	MACHINE
BIT	BITUMINOUS	MAS	MASONRY
BLDG	BUILDING	MAT	MATERIAL
BLK	BLOCK	MAX	MAXIMUM
BLKG	BLOCKING	MB	MARKER BOARD
BTM	BEAM	MCH	MASHER CONTROL JOINT
BOT	BOTTOM	MCH	MCHANICAL
BR	BRONZE	HEMB	MEMBRANE
BRDG	BRIDGING	MFR	MANUFACTURER
BRG	BEARING	MH	MANHOLE
BUR	BUILT-UP ROOF	MIN	MINIMUM
CAB	CABINET	MIR	MIRROR
CEM	CEMENT	MISC	MISCELLANEOUS
CHAM	CHAMFER	MO	MASONRY OPENING
CL	CAEAM	MTD	MOUNTED
CJ	CONTROL JOINT	MUL	METAL
CLG	CEILING	MUL	MULLION
CLK	CAULKING	NIC	NOT IN CONTRACT
CL	CENTER LINE	NO	NUMBER
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL
COL	COLUMN	NTS	NOT TO SCALE
COMB	COMBINATION	OC	ON CENTER
CONC	CONCRETE	OD	OUTSIDE DIAMETER
CONST	CONSTRUCTION	OPS	OUTSIDE FACE OF STUD
CONT	CONTINUOUS	OH	OVER HEAD
CONTR	CONTRACTOR	OPNG	OPENING
COR	CORRIDOR	OPP	OPPOSITE
CT	CERAMIC TILE	OZ	OUNCE
CTR	CENTER	QT	QUARRY TILE
DA	DOUBLE ACTING	PERF	PERFORATED
DBL	DOUBLE	PLAM	PROPERTY LINE
DCJ	DEFORMABLE CONTROL JOINT	PLAS	PLASTIC LAMINATE
DEPT	DEPARTMENT	PLD	PLASTIC
DF	DRINKING FOUNTAIN	PR	PAIR
DIA	DIAETER	PROF	PROPERTY
DIAG	DIAGONAL	PSF	POUNDS PER SQUARE FOOT
DIFF	DIFFUSER	PSI	POUNDS PER SQUARE INCH
DIM	DIENSION	PT	PRESSURE TREATED
DISP	DISPENSER	PTD	PAPER TOWEL DISPENSER
DIV	DIVIDER/DIVISION	PTN	PARTITION
DN	DOWN	PVMT	PAVEMENT
DS	DOWN SPOUT	Q	QUARTILE
EA	EAH	QT	QUARRY TILE
EJ	EXPANSION JOINT	R	RISER
EL	ELEVATION	RAD	RADIUS
ELEC	ELECTRICAL	RD	ROOF DRAIN
ELEV	ELEVATOR	REF	REGULATOR
EMER	EMERGENCY	REG	REGULATOR
ENCL	ENCLOSURE	REFIN	REINFORCED
EP	ELECTRIC PANEL	REQD	REQUIRED
EQ	EQUAL	REV	REVISION
EQPT	EQUIPMENT	RF	ROOFING
ES	EACH SIDE	RM	ROOM
EW	EACH WAY	RO	ROUGH OPENING
EXIST	EXISTING	ROW	RIGHT OF WAY
EXP	EXPANSION	SC	SOLID CORE
EXT	EXTERIOR	SD	SOAP DISPENSER
FA	FIRE ALARM	SEC	SECTION
FD	FLOOR DRAIN	SF	SQUARE FOOT
FE	FIRE EXTINGUISHER	SH	SHELF
FEB	FIRE EXT. ON BRACKET	SHT	SHEET
FEC	FIRE EXT. CABINET	SIM	SIMILAR
FIN	FINISH	SND	SANITARY NAPKIN DISPENSER
FF	FLOR	SNT	SANITARY NAPKIN RECEP
FLR	FLASHING	SPEC	SPECIFICATION
FLASH	FLUORESCENT	SS	STAINLESS STEEL
FLUOR	FLUORESCENT	STD	STANDARD
FOC	FACE OF CONCRETE	STL	STEEL
FW	FACE OF WALL	STOR	STORAGE
FT	FOOT/FEET	STR	STRUCTURAL
FTG	FOOTING	SUSP	SUSPENSION/SUSPENDED
FURR	FURRING	SYN	SYNTHETIC
GA	GAUGE	SYS	SYSTEM
GALV	GALVANIZED	T	TREAD
GB	GRAB BAR	T/B	TOP AND BOTTOM
GEN	GENERAL	TOC	TOP OF CURB
GL	GLASS	TELE	TELEPHONE
GND	GROUND	THK	THICK
GR	GRADE	THD	THRESHOLD
GYPS BD	GYPSUM WALL BOARD	TOP	TOP OF PAVEMENT
H	HIGH	TOS	TOP OF STEEL
HB	HOSE BIB	TOW	TOP OF WALL
HC	HOLLOW CORE	TYP	TYPICAL
HDW	HARDWARE	US	UNDERWRITERS LABORATORIES
HDWD	HARDWOOD	UNF	UNFINISHED
HM	HOLLOW METAL	UNO	UNLESS OTHERWISE NOTED
HORIZ	HORIZONTAL	V	VINYL
HT	HEIGHT	VCT	VINYL COMPOSITION TILE
ID	INSIDE DIAMETER	VERT	VERTICAL
INFO	INFORMATION	VEST	VESTIBULE
INSUL	INSULATION	VUC	VINYL WALL COVERING
INT	INTERIOR	W/	WATER CLOSET
INV	INVERT	WD	WOOD
JAN	JANITOR	WH	WATER HEATER
JT	JOINT	W/O	WITH OUT
JST	JOIST	WP	WATERPROOF
JV	JOB VERIFY	WT	WEIGHT
		WWM	WELDED WIRE MESH

ACCESSORIES MT. HT. FROM FLOOR

- (A) TOILET PAPER DISP. 19" TO CENTER
- (B) TOWEL DISPENSER 40" TO BOTTOM
- (C) MIRROR MAX. 40"
- (D) GRAB BAR - 42" 34" TO TOP
- (E) GRAB BAR - 34" 34" TO TOP
- (F) TOILET SEAT 17" TO 19" TO TOP
- (G) SINK 34" MAX. TO TOP 34" TO BOTTOM 11" MIN. DEPTH

HANDICAPPED REST ROOM
NO SCALE

INDEX OF DRAWINGS

ARCHITECTURAL

- AOI TITLE SHEET, PROJECT NOTES, INDEX OF DRAWINGS, LOCATION MAP, PROPERTY/BUILDING OUTLINE
- A100 EXISTING FLOOR PLAN W/ DEMO/RELOCATE LEGEND
- A101 FLOOR PLAN, ROOF FINISH SCHEDULE, DOOR & FRAME SCHEDULE
- A102 EQUIPMENT LAYOUT PLAN, EQUIPMENT SCHEDULE, OUTSIDE BAR PLAN
- A103 REFLECTED CEILING PLAN, ELEC/HVAC LEGEND
- A104 BUILDING LIFE SAFETY PLAN
- A105 FOOD COURT LIFE SAFETY PLAN
- A106 FENCE ELEVATION, DETAILS
- A107 OUTSIDE BAR FLOOR PLAN, ELEVATIONS
- BY OTHERS
- M-1 MECHANICAL
- E-1 ELECTRICAL
- P-1 PLUMBING
- C-1 PARCEL SURVEY
- L-1 LANDSCAPE PLAN

PROJECT NOTES:

166 WEST CLAYTON STREET WILL BE AN EVENTS SPACES. THE PARKING LOT ADJOINING THE BUILDING WILL BECOME A FOOD COURT.

CODE INFORMATION

- IBC 2018 CONSTRUCTION TYPE - III-B MAIN BUILDING, 12-II-24
SPRINKLED, UNPROTECTED CMP
- OCCUPANCY - A-2 (NIGHTCLUB) CONSTRUCTION TYPE - III-A OUTSIDE BAR, 12-II-24
SPRINKLED, UNPROTECTED CMP
- LIFE SAFETY CODE 2018 CONSTRUCTION TYPE - III (200) MAIN BUILDING, 12-II-24
SPRINKLED, UNPROTECTED CMP
- CONSTRUCTION TYPE - III (211) OUTSIDE BAR, 12-II-24
SPRINKLED, UNPROTECTED CMP
- OCCUPANCY - ASSEMBLY ZONING: CD ACRES: 0.366

TAX # - 111A5 A009

APPROXIMATE SQUARE FOOTAGE
MAIN FLOOR 4,218

OCCUPANT LOAD -
EVENTS SPACE 3,355 / T = 336
OTHER SPACES 1,252 / 300 = 5

CHANGE OF USE:

UNION FARE

166 WEST CLAYTON STREET
ATHENS, GA 30601

APPROVED PLANS

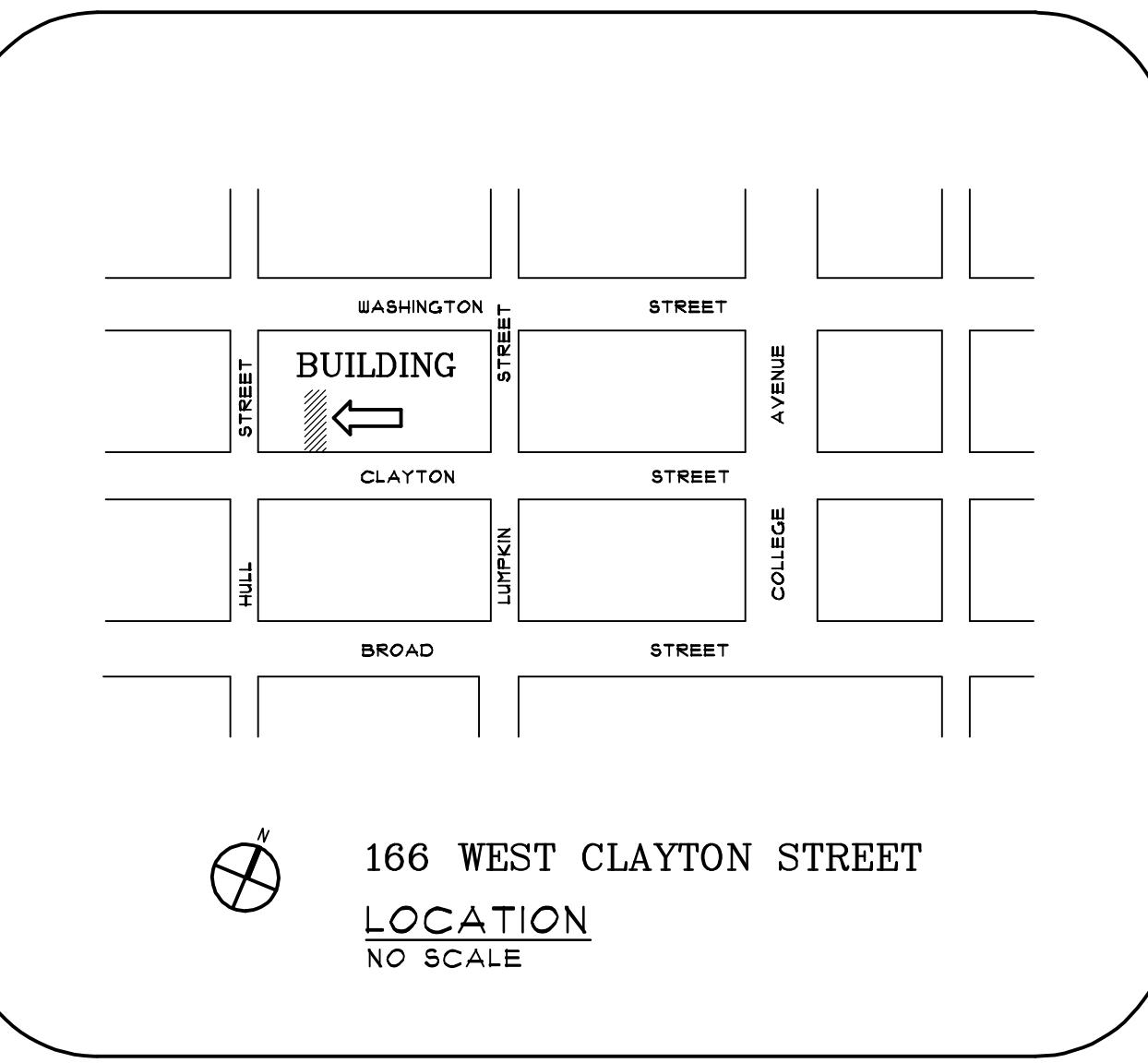
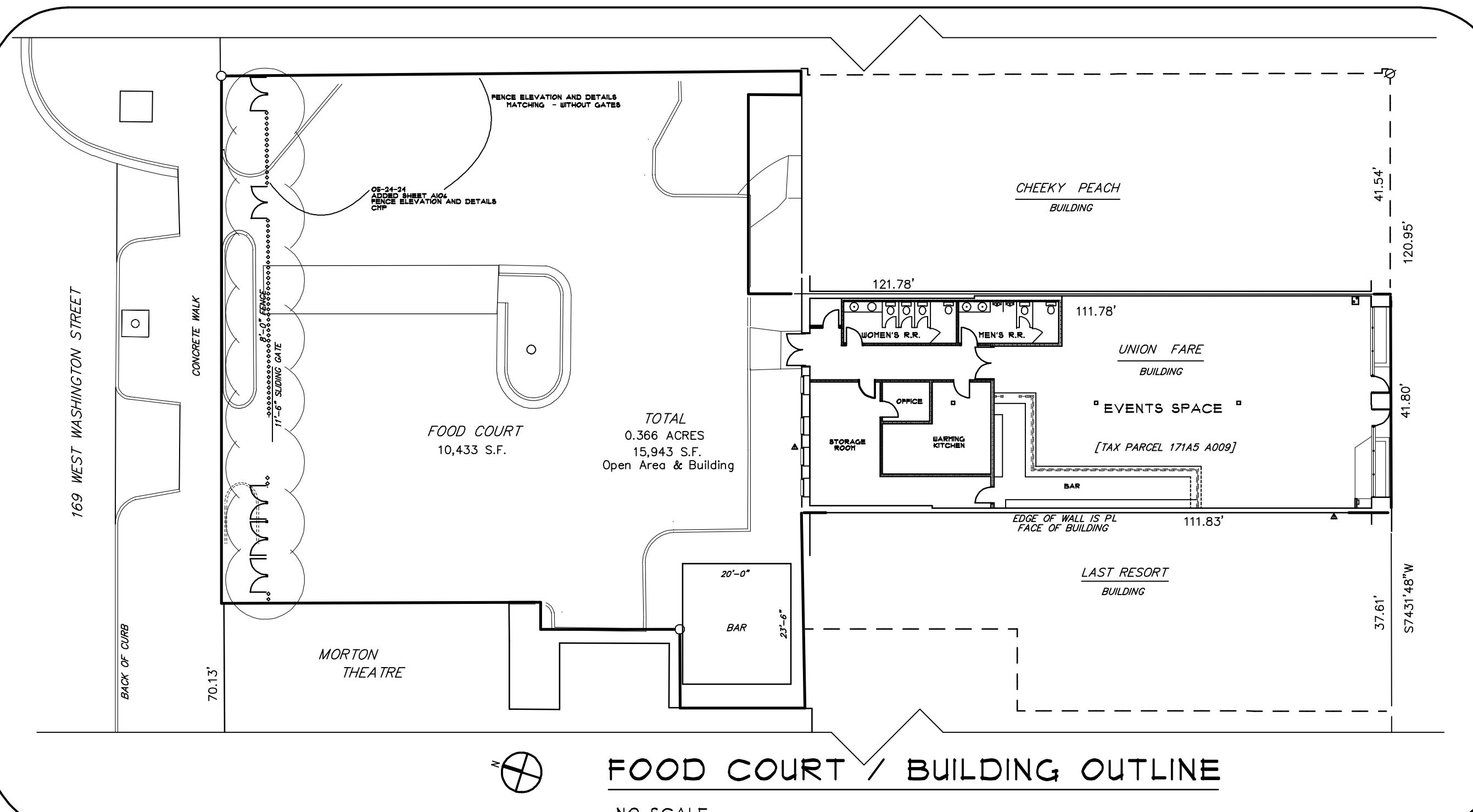
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PROJECT:	CHANGE OF USE: UNION FARE	
LOCATION:	166 WEST CLAYTON STREET ATHENS, GA 30601	
DRAWING:	A0	
REVISIONS:	05/24/24	01/01/24
DATE:	04-23-24	12-II-24
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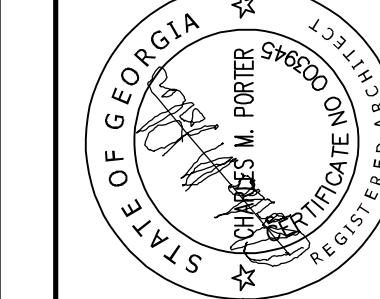
CHANGE OF USE:
UNION FARE

166 WEST CLAYTON STREET
ATHENS, GA 30601

PROJECT:
UNION FARE

166 WEST CLAYTON STREET
ATHENS, GA 30601

LOCATION:
NO SCALE



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CHARLES M. PORTER
CERTIFICATE NO. 2024-04-0813
EX-178-ED-AK-2024-04-0813

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166 WEST CLAYTON STREET
ATHENS, GEORGIA 30601

PROJECT: CHANGE OF USE:
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166 WEST CLAYTON STREET
ATHENS, GEORGIA 30601

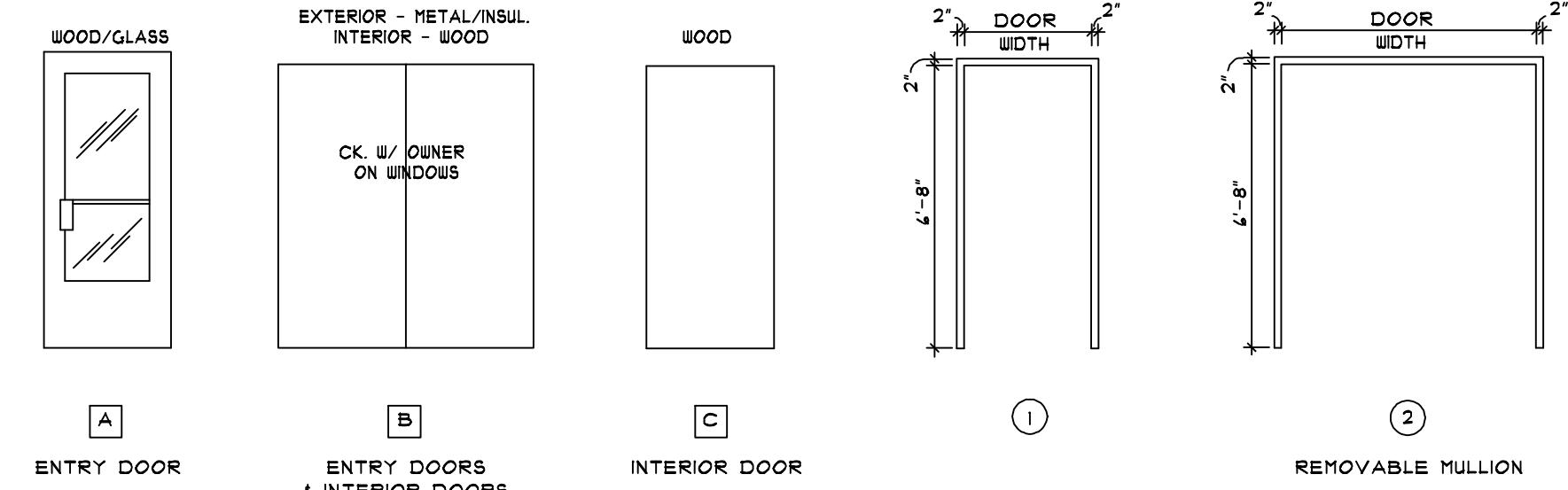
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EXISTING FLOOR PLAN & DEMOLITION FLOOR PLAN
1/4" = 1'-0"

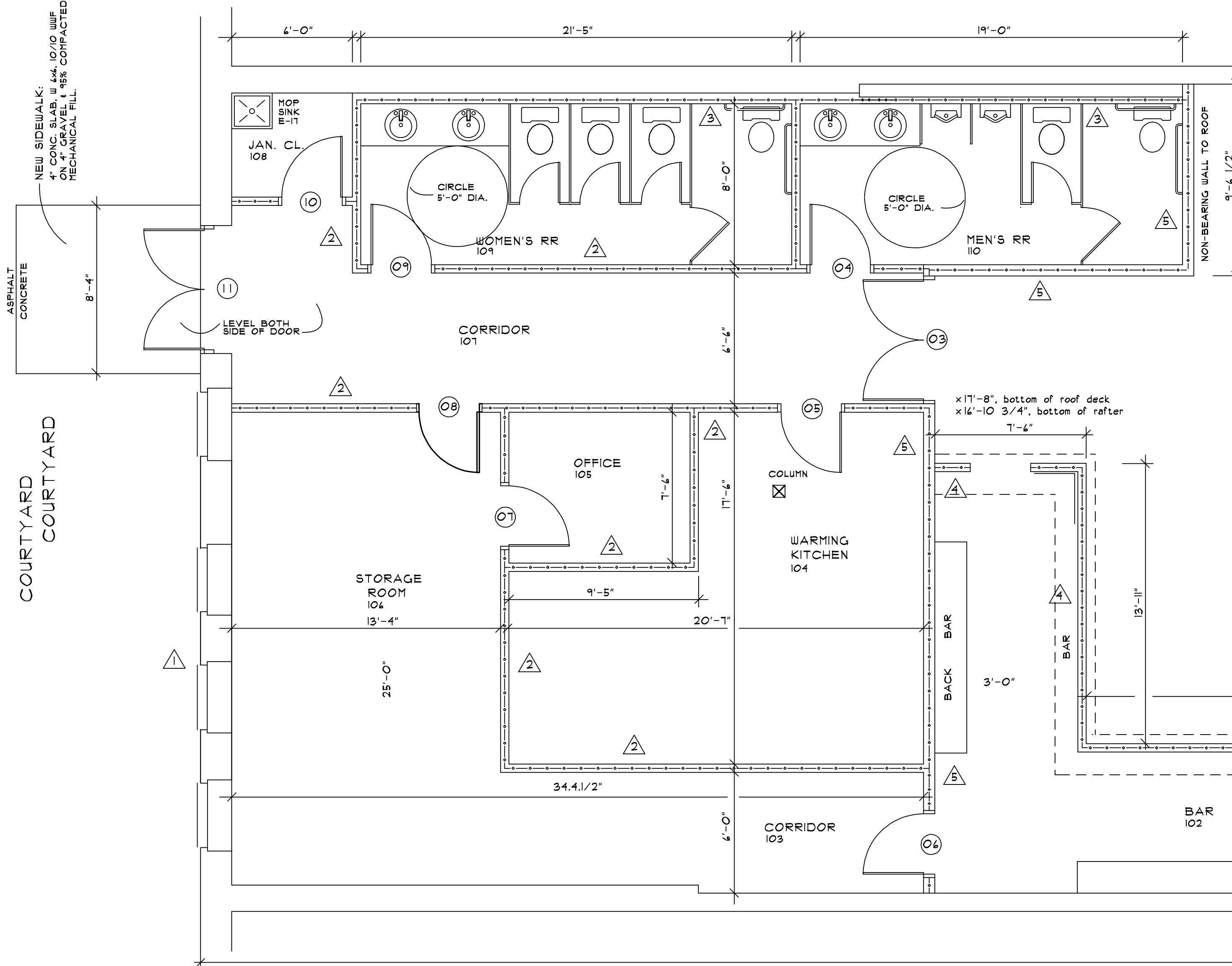
RELOCATE HVAC
RELOCATE WH
RELOCATE PLUMBING
REMOVE PLUMBING
REMOVE WALLS
REMOVE DOORS, FRAMES
REMOVAL LEGEND

DOOR & FRAME SCHEDULE

NO.	DOOR			FRAME		LABEL	GLASS TYPE	HARDWARE GROUP	REMARK
	TYPE	MAT'L	WIDTH	HGT.	THK.				
O1	A	WD. GLASS	3'-0"	6'-8"	1 3/4"	-	WD.	-	TEMP. I W/ CLOSURE
O2	A	WD. GLASS	3'-0"	6'-8"	1 3/4"	-	WD.	-	TEMP. I W/ CLOSURE
O3	B	SCWD	6'-0"	6'-8"	1 3/4"	2	HM.	-	2 W/ CLOSURES
O4	C	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-	4 W/ CLOSURE
O5	C	SCWD	3'-0"	6'-8"	1 3/4"	1	HM.	-	3
O6	C	SCWD	2'-0"	6'-8"	1 3/4"	1	HM.	-	3
O7	B	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-	3
O8	C	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-	3
O9	C	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-	4 W/ CLOSURE
O10	B	SCWD	6'-0"	6'-8"	1 3/4"	1	HM.	-	3
O11	B	HM	6'-0"	6'-8"	1 3/4"	2	HM	-	2 W/ CLOSURES, INSULATED



DOOR & FRAME ELEV.
NO SCALE



VERIFY WITH OWNER LOCKSETS
AND MASTER KEY

HARDWARE SCHEDULE

DOOR TYPE A
HAGAR HINGES
MISC: SILENCERS, STOPS,
EXTERIOR DOORS ADD;
WEATHERSTRIPPING

GROUP 1 ENTRY (EXISTING)
PANIC DEVICE
CLOSURE
WEATHERSTRIPPING

GROUP 2 ENTRY (EXIT)
PANIC DEVICE EACH DOOR
CLOSURE (PANIC DEVICE SIDE)
WEATHERSTRIPPING

GROUP 3 OFFICE, STORAGE ROOM
WARMING KITCHEN
JANITORS CLOSET
KEYED LOCKSET / HANDLE

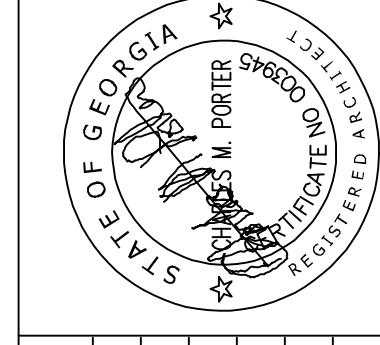
GROUP 4 HC RR
PUSH PLATE
PULL PLATE
CLOSURE
KICKPLATE

FINISH SCHEDULE

NO.	ROOM NAME	FLOOR		WALL		CEILING		REMARKS
		FINISH	BASE	MATERIAL	FINISH	MATERIAL	HEIGHT	
101	EVENTS SPACE	EPOXY	4" VINYL	GYP. BD.	PAINT	WD.	-	17'-0" +/- OPEN CEILING
102	BAR	Q.T.	6" VINYL	GYP. BD.	PAINT	WD.	-	17'-0" +/- OPEN CEILING
103	CORRIDOR	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
104	WARMING KITCHEN	Q.T.	6" VINYL	GYP. BD.	FRP	ACT.	-	8'-10" WASHABLE CEILING TILE
105	OFFICE	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
106	STORAGE ROOM	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
107	CORRIDOR	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
108	JANITOR'S CLOSET	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
109	WOMENS RR	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
110	MEN'S RR	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
111	OUTSIDE BAR	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10" INTERIOR GYP. BD. - EXT.

V.C.T. - VINYL COMPOSITION TILE
Q.T. - QUARRY TILE

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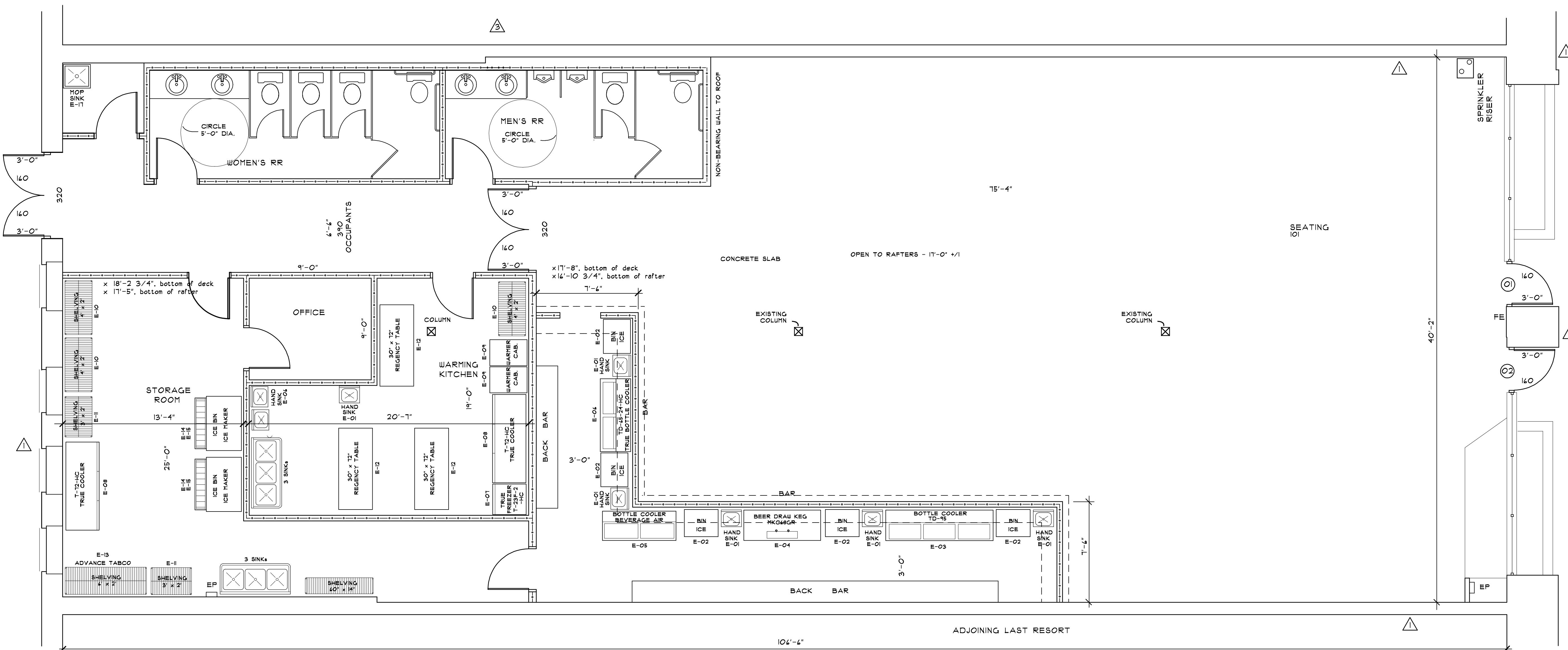


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166 WEST CLAYTON STREET
ATHENS, GEORGIA 30601
DRAWING: A | O |

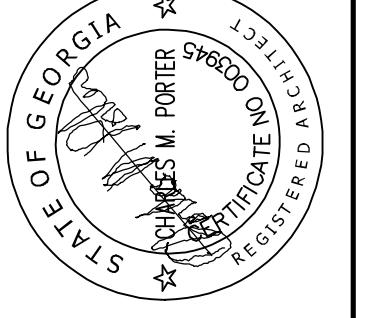
COURTYARD



EQUIPMENT SCHEDULE

LABEL	DESCRIPTION	MANUFACTURER	POWER		SIZE		REMARKS
			GAS (BTU)	ELEC. (AMP)	WIDTH	DEPTH	
E-01	HAND SINK	ADV. TABCO, 1-PS-47	-	-	17"	15"	5" DEEP
E-02	ICE BIN	ADV. TABCO, CRI-16-30	-	-	36"	24"	29"
E-03	BOTTLE COOLER	TRUE, TD-95-38-HC	-	3.1	95"	28"	33 1/2"
E-04	BEER DISPENSER	ATOSTA, MKC48GR	-	2.3	48"	28"	36"
E-05	BOTTLE COOLER	BEVERAGE AIR, DW64HC-5	-	5.2	72"	24 1/2"	35 1/2"
E-06	BOTTLE COOLER	TRUE, TD-95-38-HC	-	3.1	64 1/2"	27"	33 1/2"
E-07	FREEZER	TRUE, T-23F-2-HC	-	3.1	27"	29"	78 3/8"
E-08	REFRIGERATOR	TRUE, TT2-HC	-	6.9	78"	29 1/2"	78 3/8"
E-09	WARMING CABINET	MAIN, CHP-1836U	-	1440 W	23"	33 1/4"	66 1/2"
E-10	SHELVING	ADV. TABO, ECC-2448	-	-	48"	24"	74"
E-11	SHELVING	ADV. TABO, ECC-2434	-	-	36"	24"	74"
E-12	SS TABLE	REGENCY, 18 G., 304, W/ UNDER SHF.	-	-	72"	30"	34"
E-13	SHELVING	ADV. TABO, ECC-2412	-	-	72"	24"	74"
E-14	ICE BIN	HOSKIZAKI, B-1000-SS	-	-	48"	41"	60"
E-15	ICE MAKER	HOSKIZAKI, KM-1601SJA	-	15.9	48"	27 1/2"	27 3/8"
E-16	4 COMPARTMENT SINK	ADV. TABCO	-	-	72"	27 1/2"	37 1/2"
E-17	MOP SINK	REGENCY, 600SM16206	-	-	25"	21"	6"

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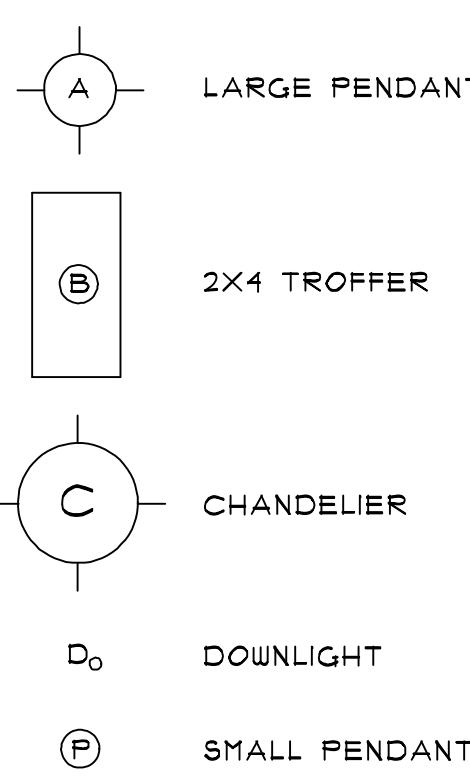
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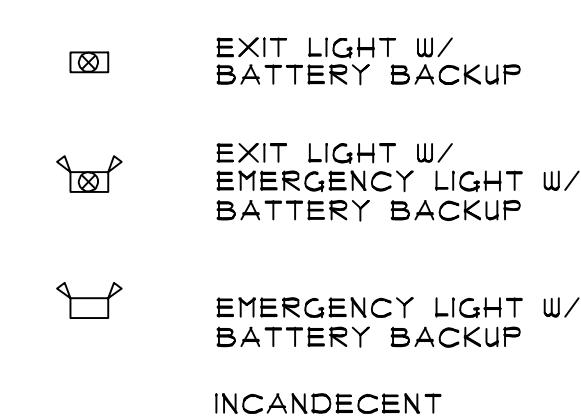
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A/02

LEGEND

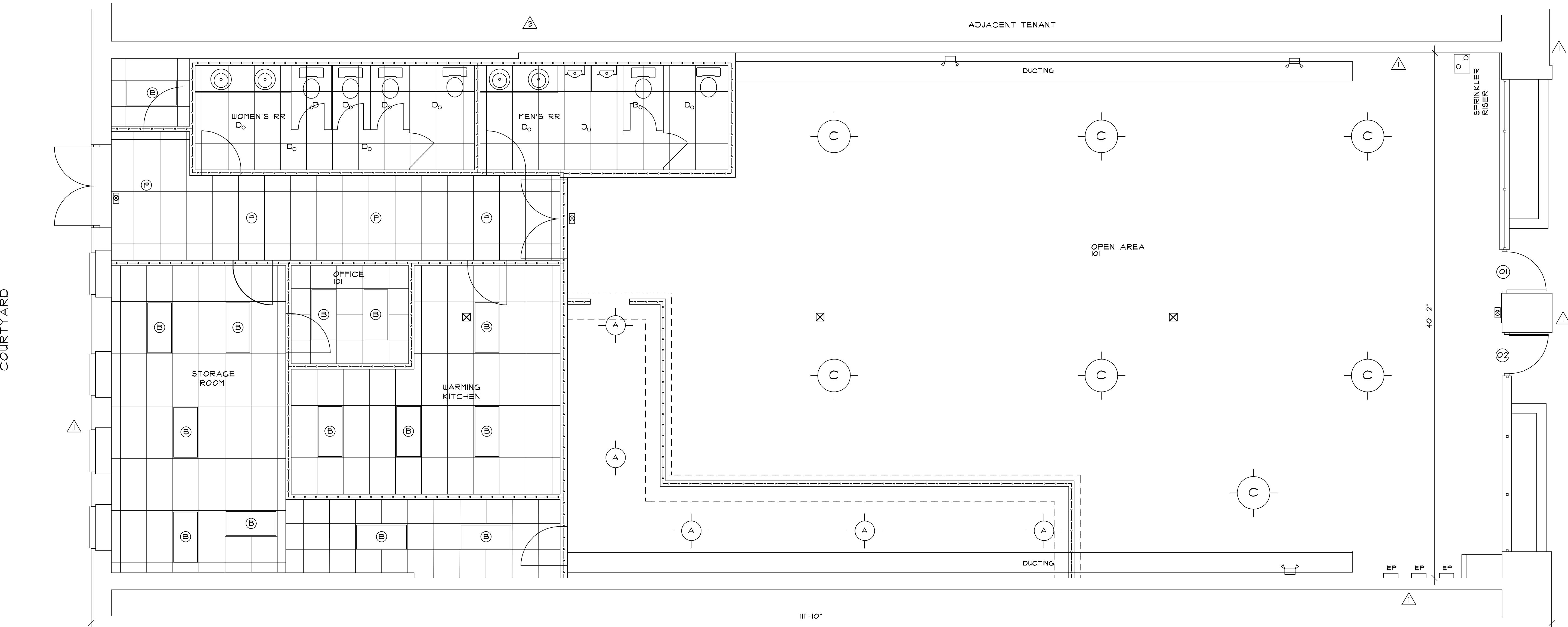
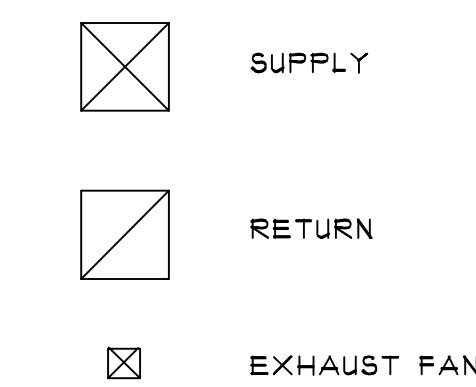
LIGHTING VERIFY W/ ELEC. PLAN



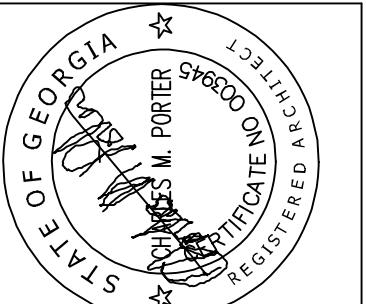
EXITS / LIGHTING VERIFY W/ ELEC. PLAN



MECHANICAL VERIFY W/ MECHANICAL PLAN



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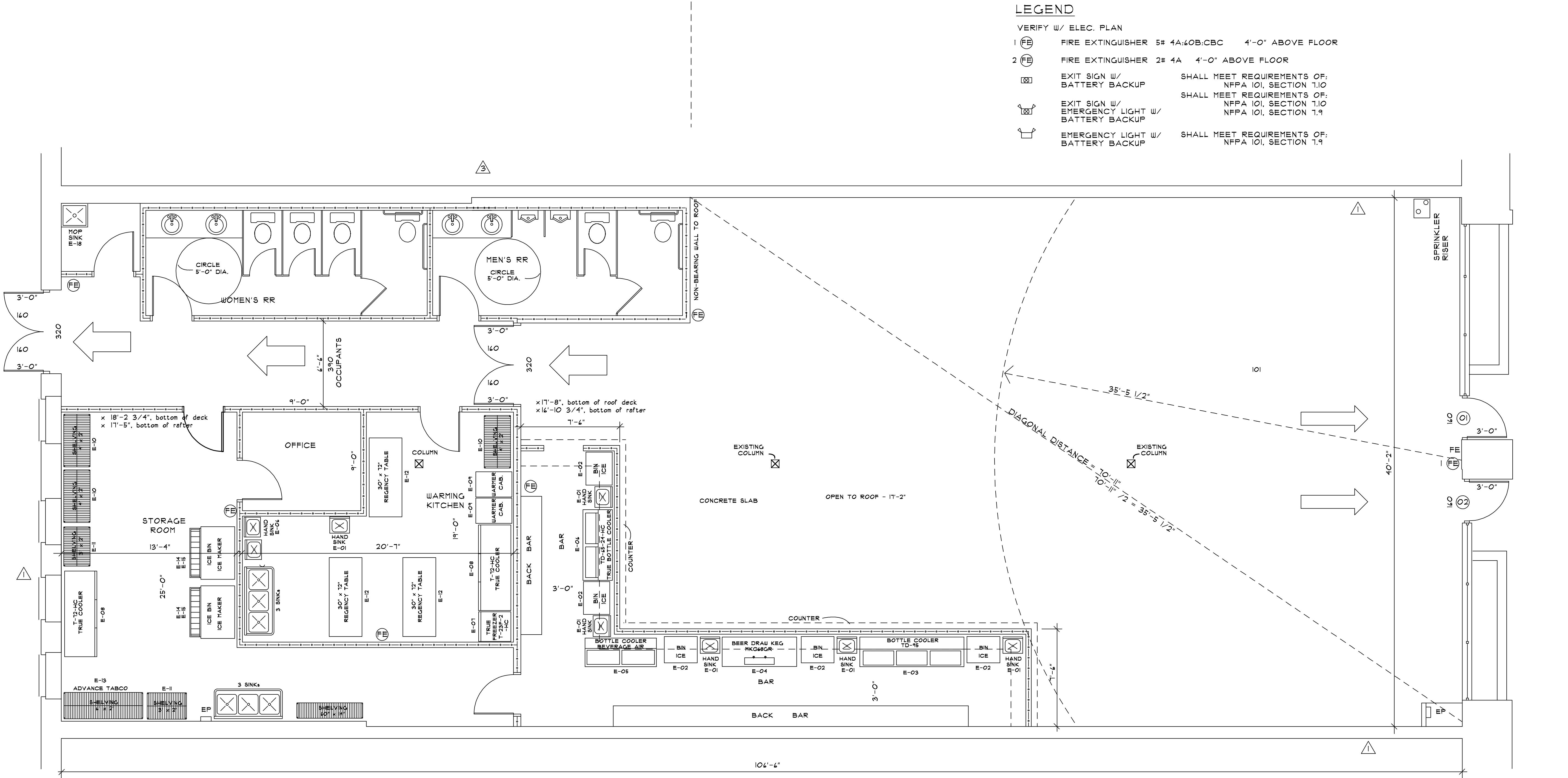
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166 WEST CLAYTON STREET
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A-103

COURTYARD



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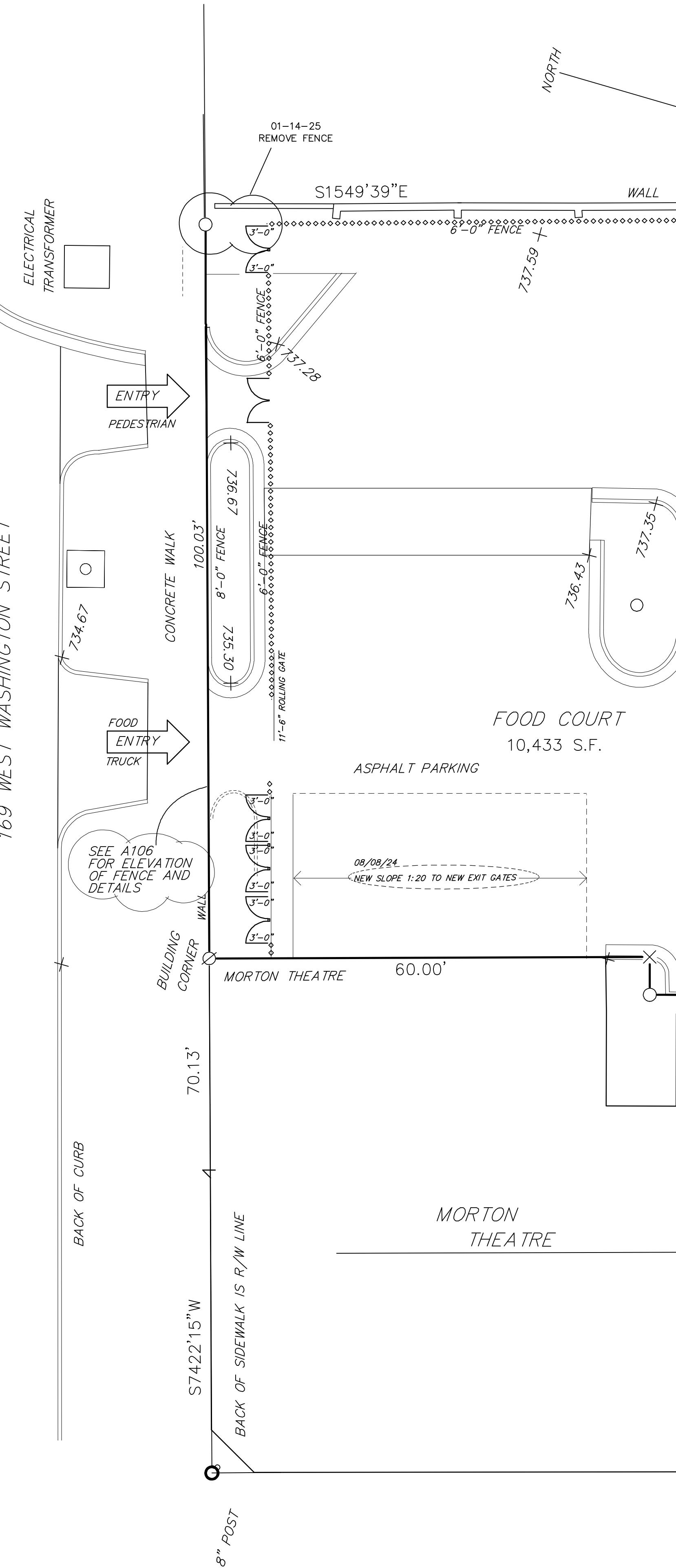
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WASHINGTON STREET
PAVED

R/W VARIES

169 WEST WASHINGTON STREET



HULL STREET

OUTSIDE BAR
FOOD COURT
 $3/32" = 1'-0"$

TOTAL
15,943 S.F.
Open Area & Building

12-11-24
ADD OUTSIDE BAR
OUTSIDE BAR
SEE A107
3'-0" BUILDING
4'-0" BUILDING
N1517'13"W
23.66
WALL
BUILDING CORNER
WALL

BUILDING

GRAYMAD LLC

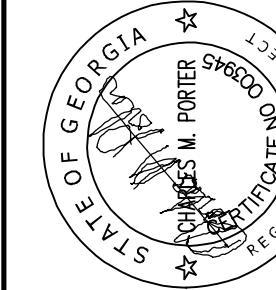
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706-548-5673
140 MILL CENTER BLVD. ATHENS, GA 30606
AUGUST 10, 2023
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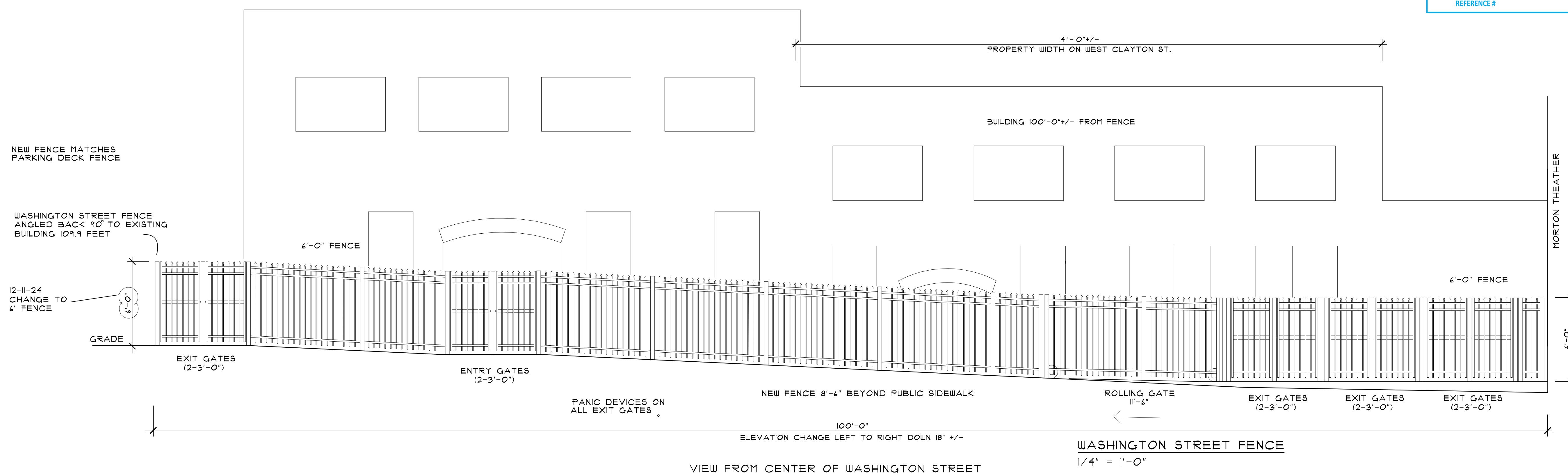
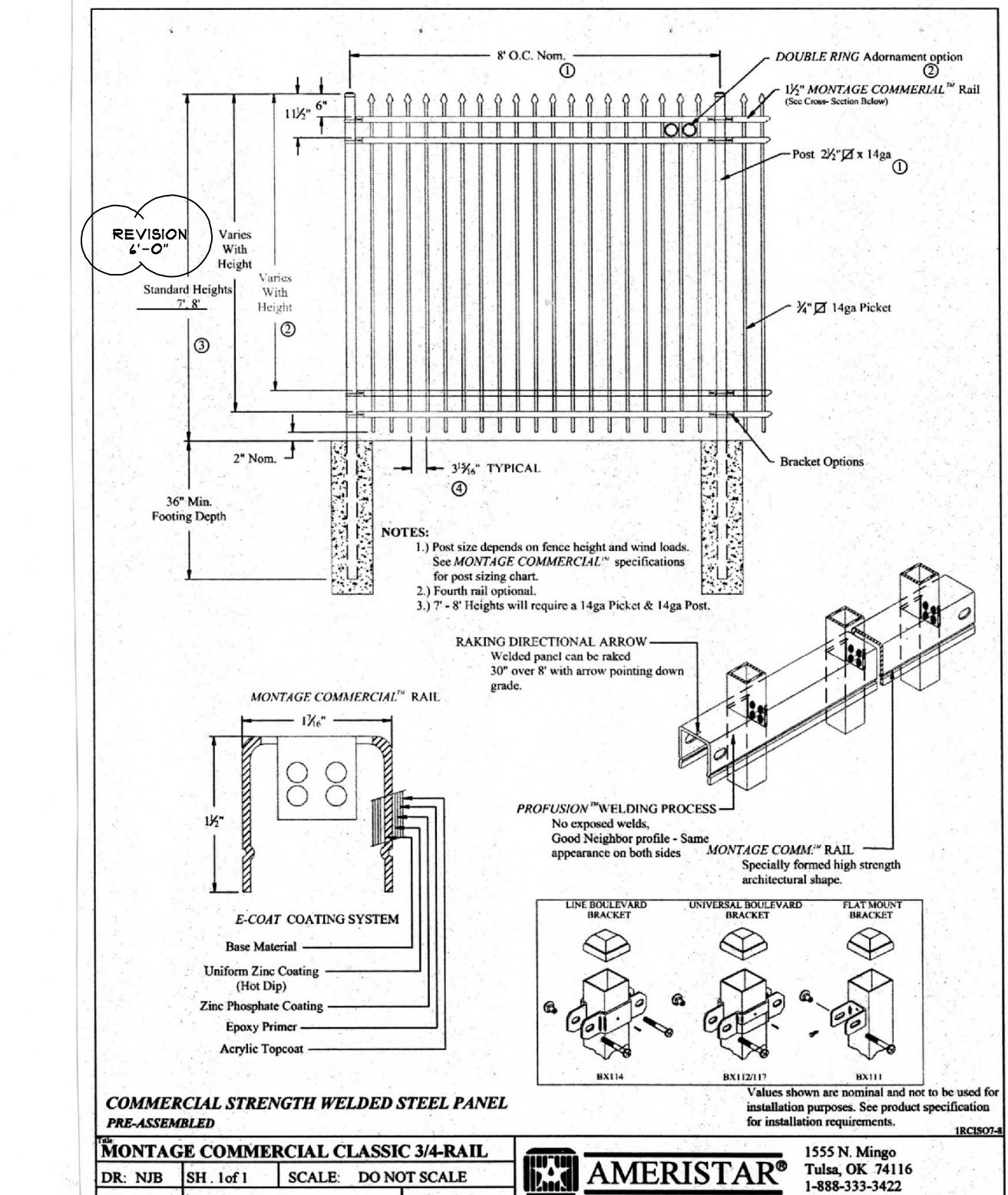
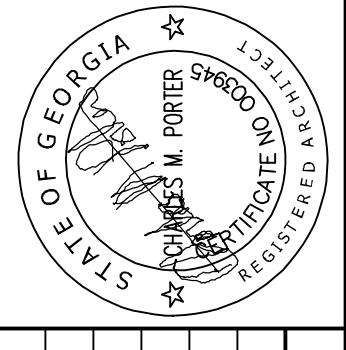
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DATE: 04/23/24

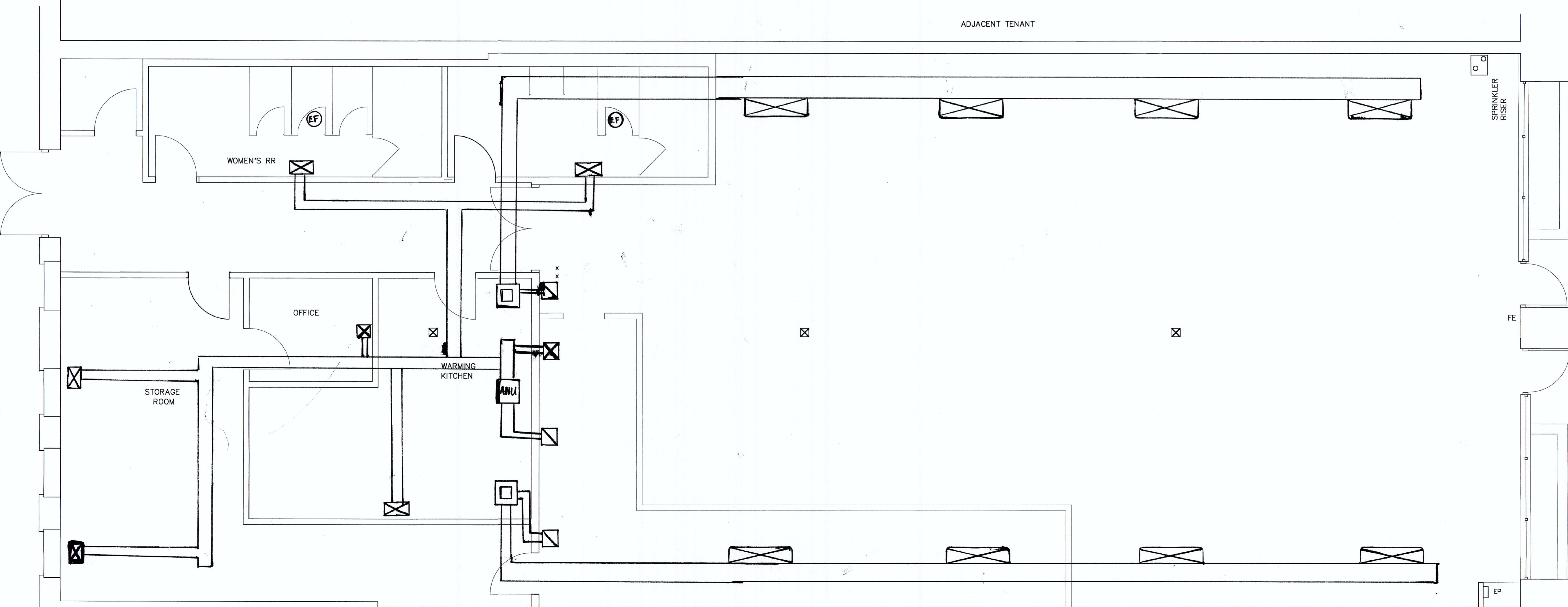


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PROJECT: CHANGE OF USE:
UNION FARE
166 WEST CLAYTON STREET
ATHENS, GEORGIA 30601
DRAWING: A105



DEATON MECHANICAL LLC.
DANIEL DEATON/7062480336
GA LIC # CRL09674
Dan Deaton



GENERAL NOTES:

- RELOCATE A/C UNITS TO ROOF.
- RESTROOM FANS VENT TO ROOF WITH DAMPER.
- 90% FURNACE VENTS TO ROOF.
- FRESH AIR FROM BACK OF BUILDING.
- RELOCATE 2 GAS FURNACES TO MEZZANINE.

EQUIPMENT:

1. 90% GAS FURNACE / 90,000BTU / 4 TON A/C
2. 90% GAS FURNACE / 110,000BTU / 5 TON A/C
3. 5 TON AHU / 5 TON A/C

FLOOR PLAN
1/4" = 1'-0"

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 APPROVED PLANS
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PR-2024-04-0813 02/06/2025
REFERENCE # DATE

M-1

EQUIPMENT SCHEDULE

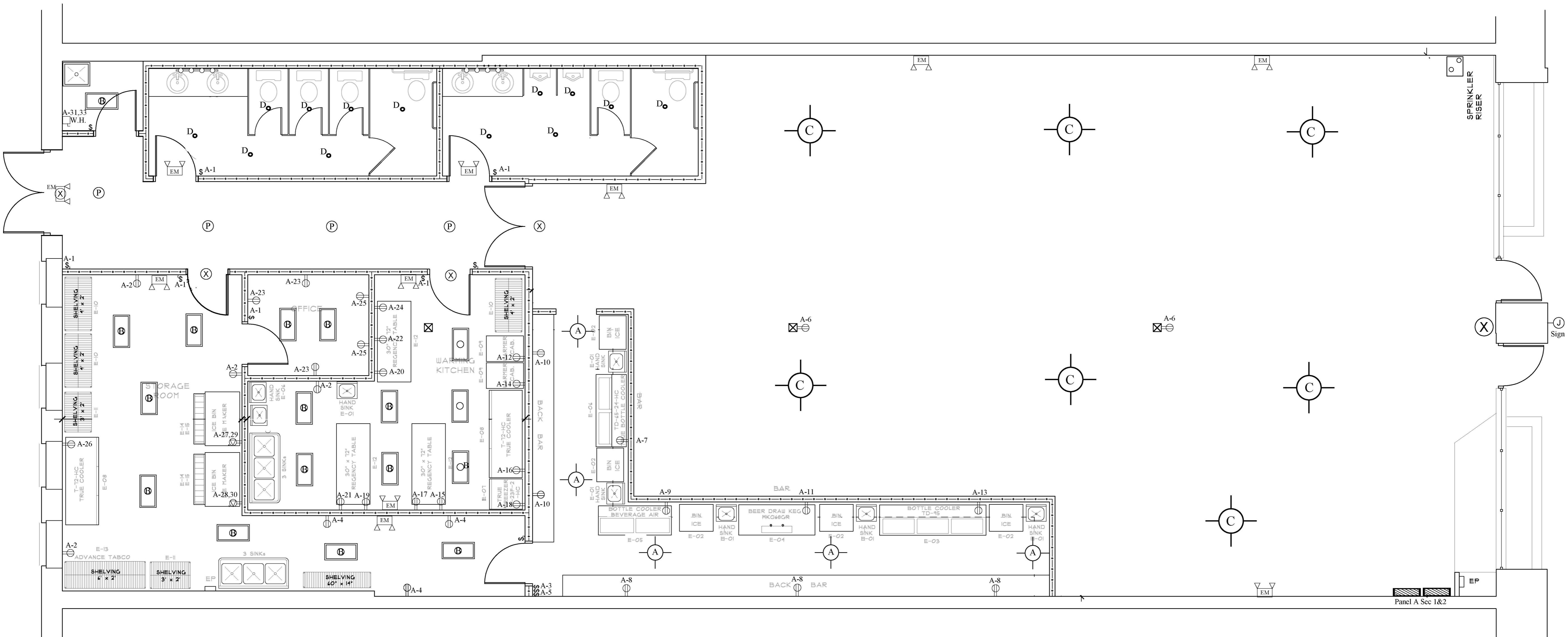
LABEL	DESCRIPTION	MANUFACTURER	POWER		SIZE		REMARKS
			GAS (BTU)	ELEC. (AMP)	WIDTH	DEPTH	
E-01	HAND SINK	ADV. TABCO, T-PS-61	-	-	17"	15"	5" DEEP
E-02	ICE BIN	ADV. TABCO, CRI-16-30	-	-	36"	24"	29"
E-03	BOTTLE COOLER	TRUE, TD-95-38-HC	-	3.1	95"	28"	33 1/2"
E-04	BEER DISPENSER	ATOSTA, MKC68GR	-	2.3	68"	28"	34"
E-05	BOTTLE COOLER	BEVERAGE AIR, DW64HC-S	-	5.2	12"	24 1/2"	35 1/2"
E-06	BOTTLE COOLER	TRUE, TD-95-38-HC	-	3.1	64 1/2"	27"	33 1/2"
E-07	FREEZER	TRUE, T-23F-2-HC	-	3.1	27"	29"	78 3/8"
E-08	REFRIGERATOR	TRUE, T12-HC	-	6.9	78"	29 1/2"	78 3/8"
E-09	WARMING CABINET	MAIN, CHP-1836U	-	1440 W	23"	33 1/4"	66 1/2"
E-10	SHELVING	ADV. TABO, ECC-2448	-	-	48"	24"	74"
E-11	SHELVING	ADV. TABO, ECC-2436	-	-	36"	24"	74"
E-12	SS TABLE	REGENCY, 16 G, 304, W/ UNDER SHF.	-	-	12"	30"	34"
E-13	SHELVING	ADV. TABO, ECC-2412	-	-	12"	24"	74"
E-14	ICE BIN	HOSKIZAKI, B-1300-SS	-	-	48"	41"	60"
E-15	ICE MAKER	HOSKIZAKI, KM-16015JA	-	15.9	48"	27 1/2"	27 3/8"

A - LARGE PENDANT LIGHT
 B - 2X4 FLAT PANEL
 C - CHANDELIER
 D - DOWN LIGHT
 P - SMALL PENDANT LIGHT
 X - EXIT
 EM - BUG EYE

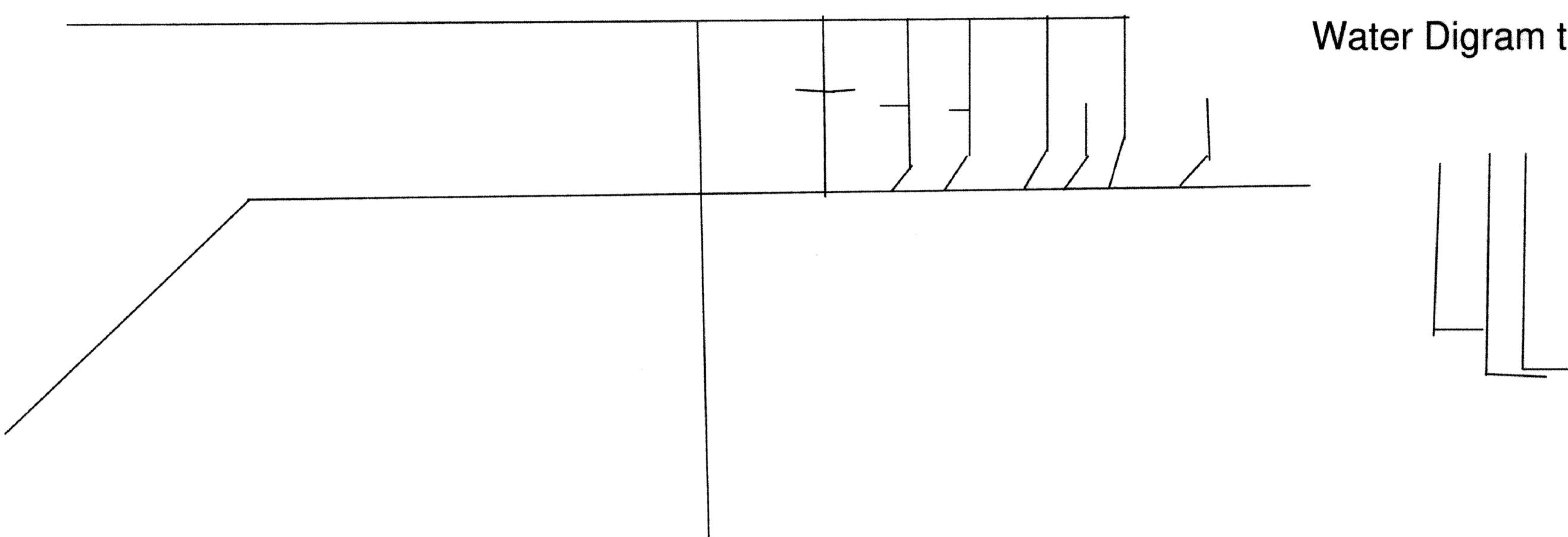
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REVISIONS	
	DATE: 03/20/24

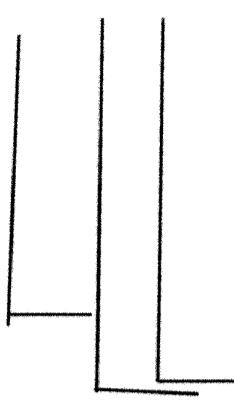
COURTYARD



Drain and vent rest room Diagram

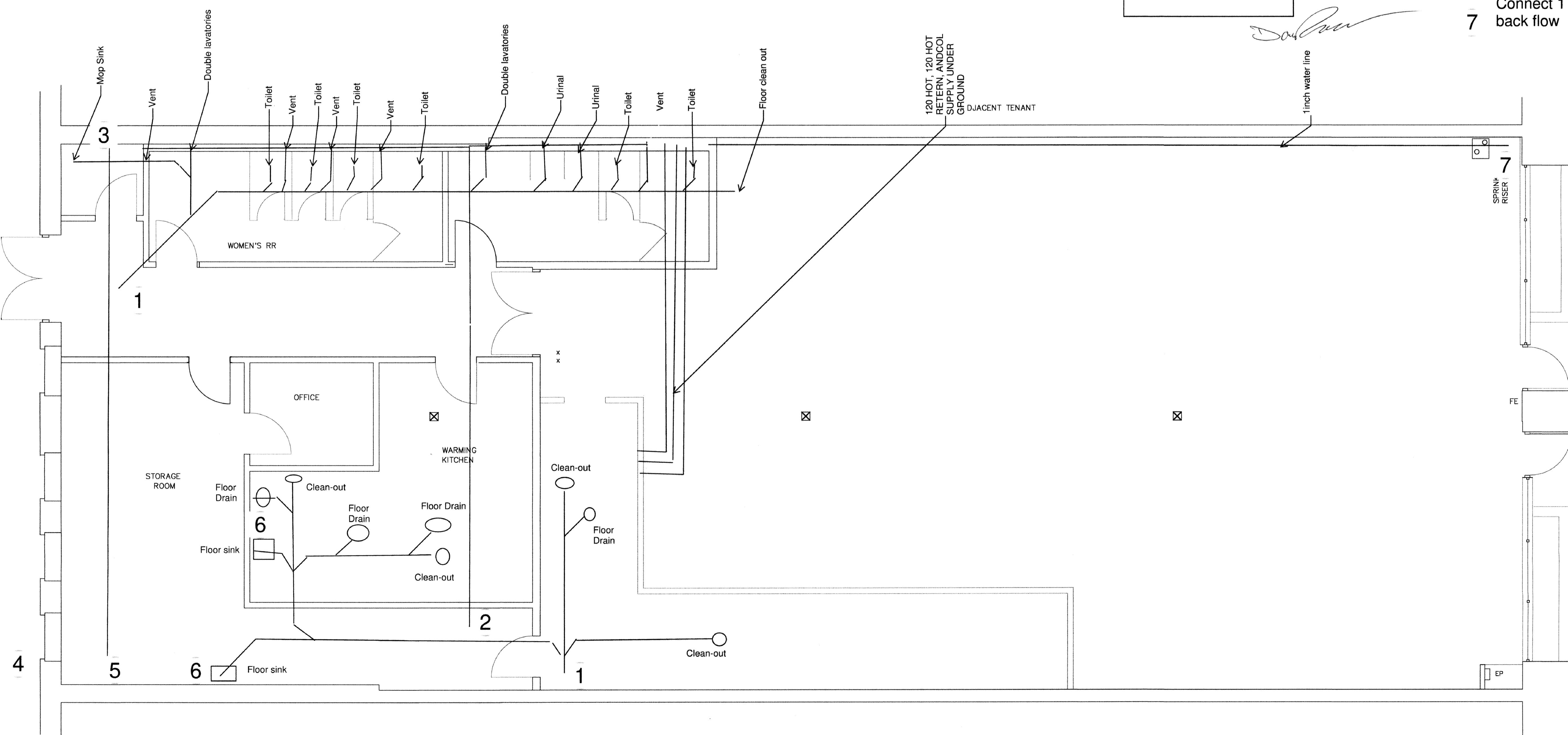


Water Diagram typical for lavatory



Fixture Schedule

Water closet tank type 1.28 gpf
Lavatory 1.5 gpm oval drop in
urinal.5 gpf
Navien tankless water heater 199 btu
Rheem 40 gallon electric 240v
Floor clean out brass top
Floor sink 3 inch waste outlet
Floor drain brass top
Grease trap 40 lb 20 gpm



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- 1 CONNECT 4 INCH DRAIN TO EXISTING
- 2 CONNECT 3 INCH VENT TO EXISTING
- 3 2 NAVIEN GAS TANKLESS WATER HEATERS SUPPLIED TO THE WARMING KITCHEN TO BE INSTALLED
- 4 2 PSI GAS METER TO BE INSTALLED COORDINATE WITH GAS COMPANY
- 5 Connect to existing gas
- 6 Grease trap to be installed in line with the 3 compartment sinks
- 7 Connect 1 inch water line to existing back flow

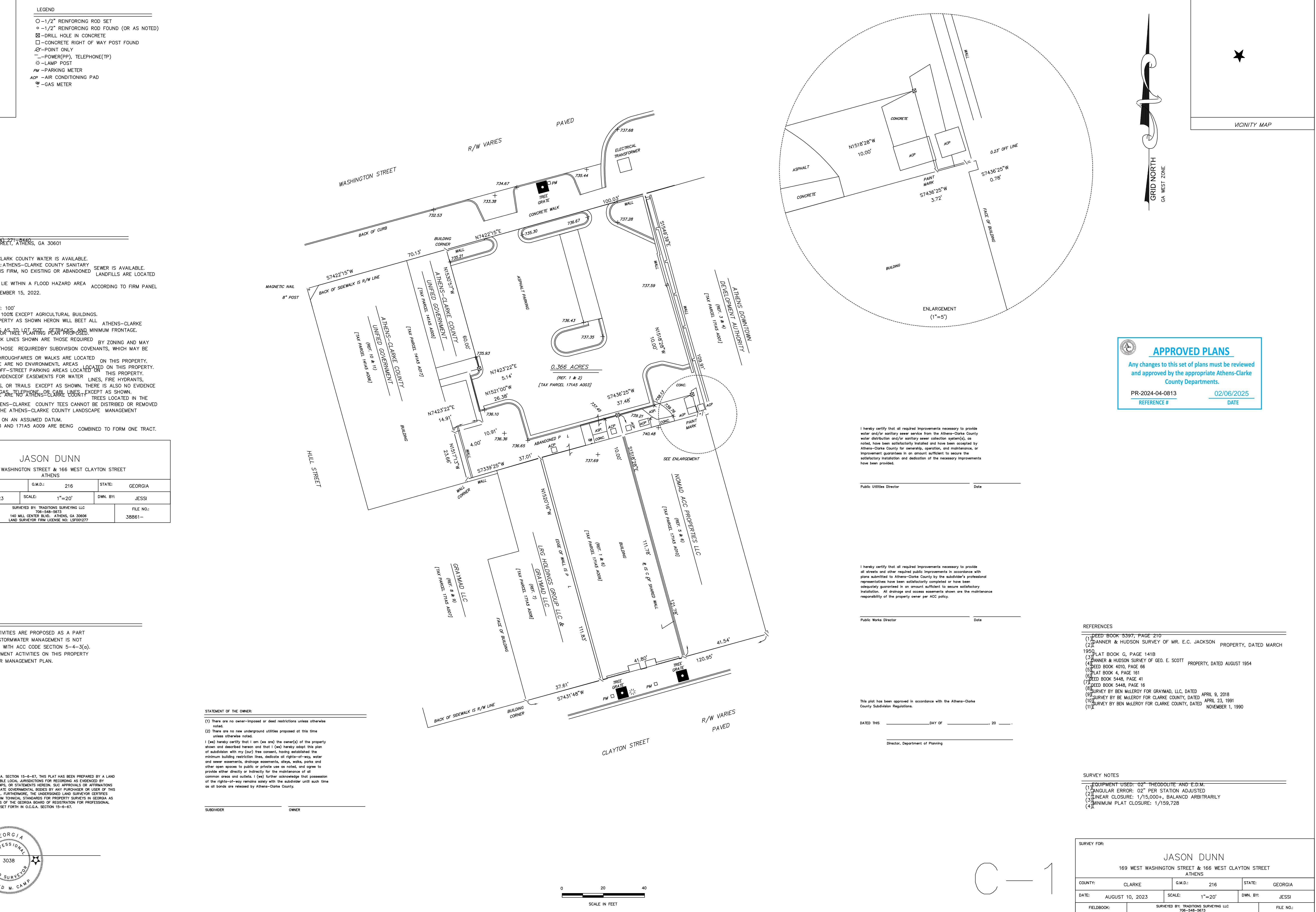
Dana Roseman
mp-210909



LEGEND

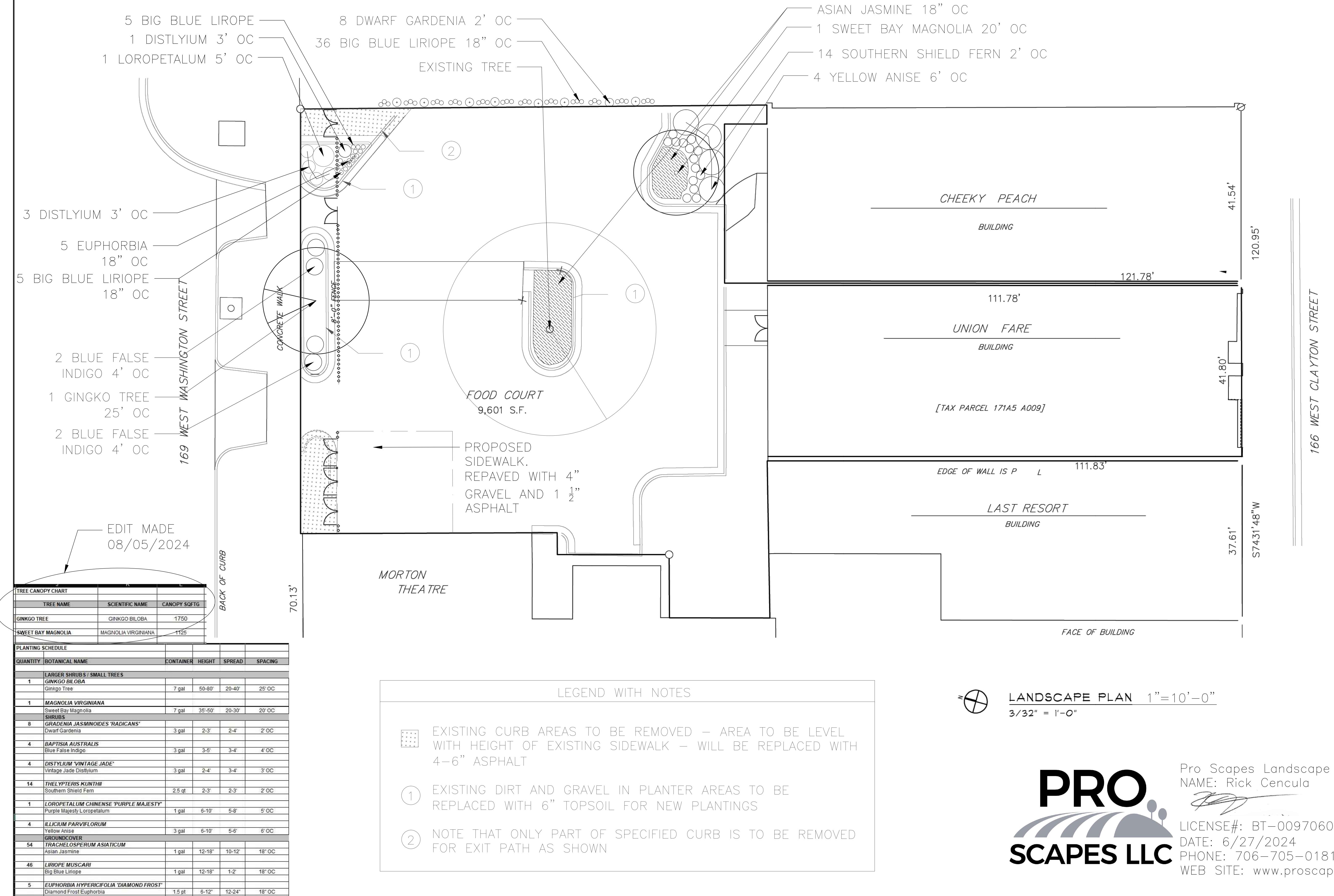
O - 1/2" REINFORCING ROD SET
 ◊ - 1/2" REINFORCING ROD FOUND (OR AS NOTED)
 ☐ - DRILL HOLE IN CONCRETE
 □ - CONCRETE RIGHT OF WAY POST FOUND
 Ⓜ - POINT ONLY
 - - POWER(PP), TELEPHONE(TP)
 * - LAMP POST
 PW - PARKING METER
 ACP - AIR CONDITIONING PAD
 ☰ - GAS METER

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REFERENCE # DATE



PRO
SCAPES LLC

Pro Scapes Landscape Solutions LLC
NAME: Rick Cencula

LICENSE #: BT-0097060
DATE: 6/27/2024
PHONE: 706-705-0181
WEB SITE: www.proscapesllc.org

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